

DECK RENOVATION AND EXPANSION  
ROCKLEDGE CLUBHOUSE  
OF  
ROCKLEDGE COUNTRY CLUB

289 SOUTH MAIN STREET  
WEST HARTFORD, CT 06107

ISSUED FOR CONSTRUCTION OCTOBER 24, 2016

ARCHITECT:

bostwick ARCHITECTS, LLC  
56 Arbor Street  
Hartford, Connecticut 06106  
(860)570-0869

CIVIL ENGINEER:

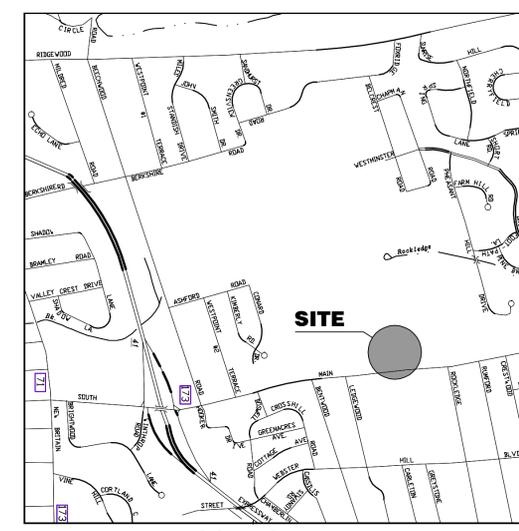
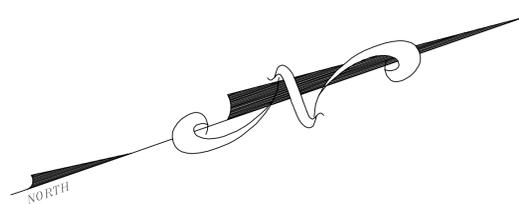
Hallisey Pearson & Cassidy  
35 Cold Springs Road  
Rocky Hill, Connecticut 06067  
(860)529-6812

STRUCTURAL ENGINEER:

Redfern Engineering, LLC  
206 Buttonball Lane  
Glastonbury, Connecticut 06033  
(860) 523-8835

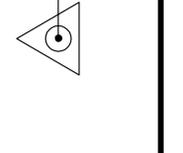
MECHANICAL/ELECTRICAL ENGINEER:

Progressive Engineering, Inc.  
290 Burnside Avenue  
East Hartford, Connecticut 06108  
(860) 895-8385



CHECKED BY: P.A.H.	SCALE: 1" = 20'
DRAWN BY: J.P.C.	DATE: FEB. 17, 2016
ACAD FILE: 2654-EX	JOB No.: 2654
SHEET: 1	OF: 2
REVISIONS:	

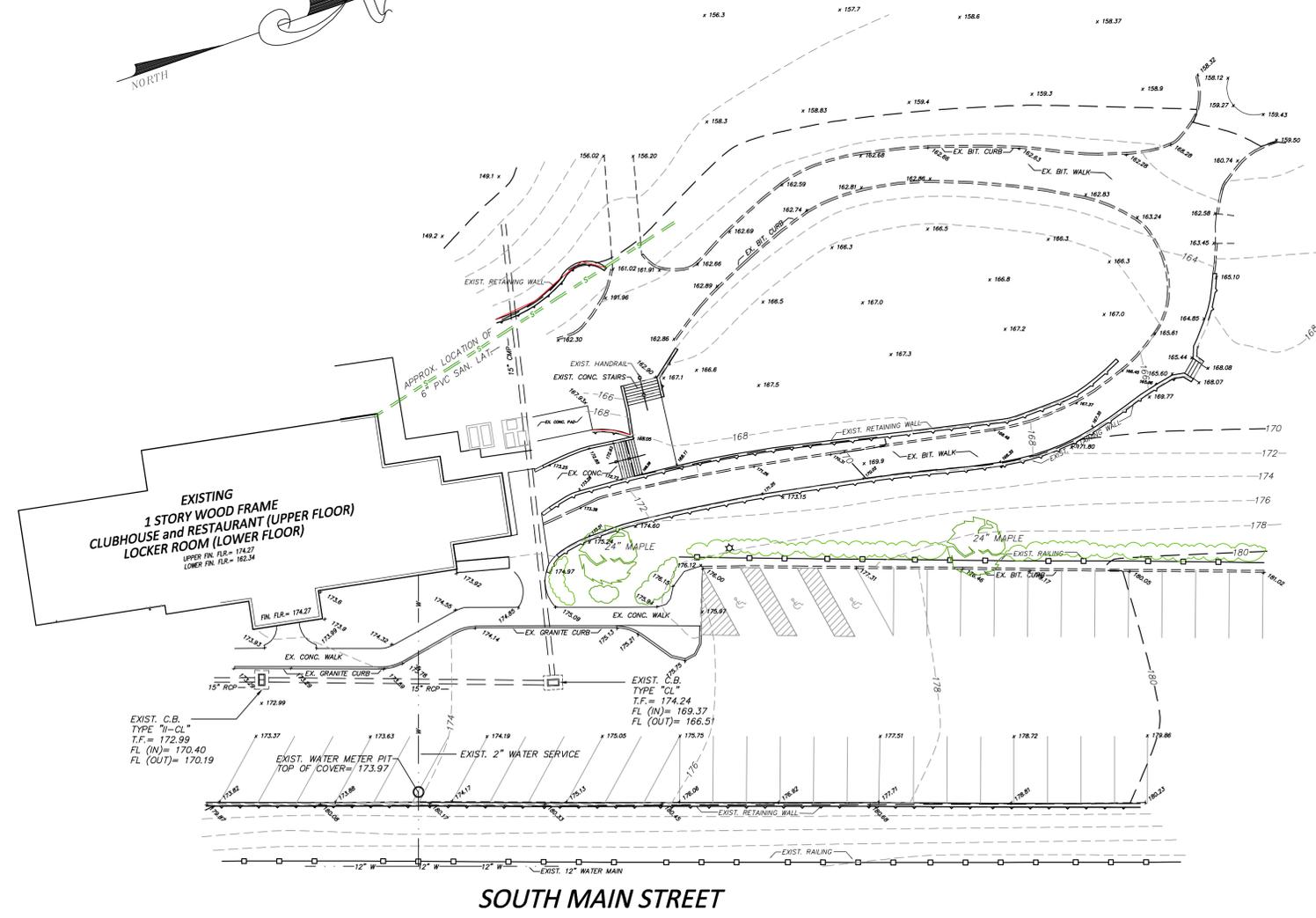
**HALLISEY, PEARSON & CASSIDY**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 35 COLD SPRING ROAD,  
 SOUTHWAY EXECUTIVE PARK, UNIT #511  
 ROCKY HILL, CONNECTICUT  
 PHONE: (860)-529-6612, FAX: (860)-721-7709



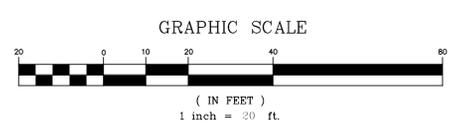
**TOPOGRAPHIC SURVEY  
 SHOWING EXISTING CONDITIONS  
 PREPARED FOR  
 ROCK LEDGE GOLF COURSE CLUBHOUSE & RESTAURANT  
 289 SOUTH MAIN STREET  
 WEST HARTFORD, CONNECTICUT**

**NOTES:**

- SURVEY NOTES:**
  - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 25, 1996.
  - Type of Survey is TOPOGRAPHIC.
  - Boundary Determination Category is N.A.
  - Class of Accuracy is TORO-1-2, VERT.-V-2.
- MAP REFERENCE:** A). \* ROCKLEDGE GOLF COURSE CLUBHOUSE AND RESTAURANT, #289 SOUTH MAIN STREET WEST HARTFORD, CT, DATED 08/16/95, PROJ. 94.010, DRAWN BY D.R.K., TOWN OF WEST HARTFORD DIVISION OF ENGINEERING.
- ELEVATIONS BASED ON MAP REFERENCE 2.A). CONTOUR INTERVAL= 2 FEET.**
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO HALLISEY, PEARSON AND CASSIDY ENGINEERING ASSOCIATES. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.\***
- PROPERTY IS SERVED BY PUBLIC SANITARY SEWER & WATER.**



**SOUTH MAIN STREET**



LEGEND	
---	EXISTING PROPERTY LINE
---	EXISTING EDGE OF PAVEMENT
●	IRON PIN OR IRON PIPE FOUND
■	CONC. MERESTONE OR CHD FND.
---	EXISTING TREE LINE
---	EXISTING CONTOUR
x 1.34.4	EXISTING SPOT GRADE
---	EXISTING TELEPHONE POLE
---	EXISTING BIT. CURB
---	EXISTING STORM DRAINAGE SYSTEM
---	EXISTING WATER MAIN
---	EXISTING SANITARY SEWER
---	EXIST. OVERHEAD WIRE
---	EXIST. GAS
---	LIMITS OF 100' UPLANDS REVIEW AREA
---	EXISTING FENCE
---	PROPOSED BIT. CURB
---	PROPOSED STORM DRAINAGE SYSTEM
---	PROPOSED WATER MAIN
---	PROPOSED SANITARY SEWER
---	PROPOSED PROPERTY LINE
---	LIMITS OF TOWN WETLANDS
---	LIMITS OF FLAGGED WETLANDS
---	PROPOSED CONTOUR
x .512.8	PROPOSED SPOT GRADE
---	PROPOSED TREE LINE
○	IRON PIN TO BE SET
■	CONC. MERESTONE TO BE SET
---	PROPOSED BIT. CURB
---	PROPOSED CONC. CURB

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

*Paul A. Hallisey*      MAY 28, 2015  
 PAUL A. HALLISEY, L.S.      LIC. NO. 7761      DATE

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL.

**NOTES:**

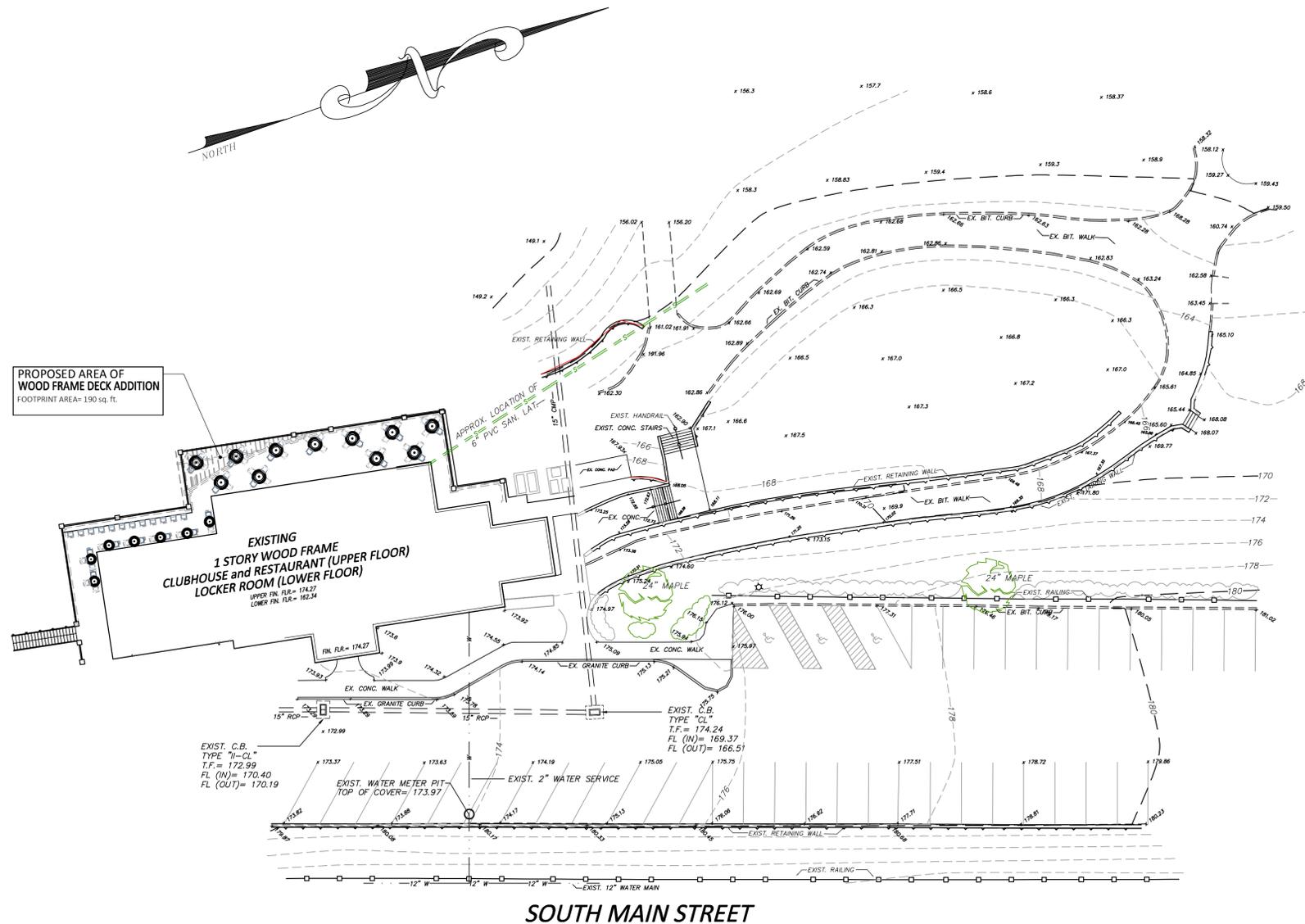
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  - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-308b-1 through 20-308b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
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  - Boundary Determination Category is N.A.
  - Class of Accuracy is TOPO-1-2', VERT.-1-2'.
- MAP REFERENCE:** A) "ROCKLEDGE GOLF COURSE CLUBHOUSE AND RESTAURANT, #289 SOUTH MAIN STREET WEST HARTFORD, CT, DATED 08/16/05, PROJ. 94-010, DRAWN BY D.R.K., TOWN OF WEST HARTFORD DIVISION OF ENGINEERING"
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- PROPERTY IS SERVED BY PUBLIC SANITARY SEWER & WATER.

**SITE PLAN NOTES**

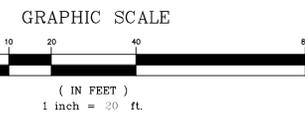
- ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF WEST HARTFORD STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING DOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- REFER TO OTHER PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BEGINNING ANY CONSTRUCTION. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFORMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THIS SHEET.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, OUTSIDE DISPLAY AREA, AND THE RAISED CONCRETE SIDEWALKS AND RAMPS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OR PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
- REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOSTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFETY METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES PRIOR TO REMOVAL OR CONSTRUCTION. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT \*1(800)922-4455 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.

**GRADING AND DRAINAGE NOTES**

- GRADING GENERAL NOTES:**
- SEE THIS PLAN SHEET FOR ADDITIONAL SITE PLAN AND GENERAL NOTES.
  - THE GRADING AND DRAINAGE PLAN IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
  - THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
  - TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
  - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
  - THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
  - UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE DESIGN OR TOWN ENGINEER AFTER SUBGRADE IS ROUGH GRADED, AS APPROVED BY THE WEST HARTFORD TOWN STAFF.
  - VERTICAL DATUM IS NYVD 1929.
  - CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF WEST HARTFORD AGENT PRIOR TO THE START OF WORK ON THE SITE.
  - PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE GILTING OF ANY WATERCOURSE OR WELL IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION SERVICE WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
  - ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK STORM DRAINAGE AND UTILITY WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE STATED IN THE PROJECT MANUAL SPECIFICATIONS. ALL FILL MATERIALS UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT AND SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE DOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN 12" LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT 3 +/- PERCENT OF OPTIMUM MOISTURE CONTENT.
  - ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF COLCHESTER AUTHORITY AND
  - ALL CONSTRUCTION SHALL COMPLY WITH FIRST BAPTIST CHURCH'S AND THE LOCAL MUNICIPALITY'S STANDARDS AND STATE OF CONNECTICUT'S DOT SPECIFICATIONS. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH DEPARTMENT OF TRANSPORTATION STANDARDS. WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.



**SOUTH MAIN STREET**



LEGEND	
---	EXISTING PROPERTY LINE
- - -	EXISTING EDGE OF PAVEMENT
IP, FND.	IRON PIPE FOUND
IP, FND.	CONC. MERESTONE OR CHD. FND.
C.M.S. FND.	EXISTING TREE LINE
C.B. FND.	LIMITS OF TOWN WETLANDS
412	EXISTING CONTOUR
x 134.4	EXISTING SPOT GRADE
POLE #	EXISTING TELEPHONE POLE
CA	EXISTING BIT. CURB
W	EXISTING WATER MAIN
SS	EXISTING SANITARY SEWER
///	EXIST. OVERHEAD WIRE
- - -	EXIST. GAS
---	LIMITS OF 100' UPLANDS REVIEW AREA
---	EXISTING FENCE
CB	PROPOSED BIT. CURB
SD	PROPOSED STORM DRAINAGE SYSTEM
WM	PROPOSED WATER MAIN
SS	PROPOSED SANITARY SEWER
---	PROPOSED PROPERTY LINE
---	LIMITS OF TOWN WETLANDS
---	LIMITS OF FLAGGED WETLANDS
---	PROPOSED CONTOUR
---	PROPOSED SPOT GRADE
---	PROPOSED TIE LINE
○	IRON PIN TO BE SET
□	CONC. MERESTONE TO BE SET
---	PROPOSED BIT. CURB
---	PROPOSED CONC. CURB
---	PROPOSED LIMITS OF BIT. PAVEMENT
---	PROPOSED CONCRETE

**HALLISEY, PEARSON & CASSIDY**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 35 COLD SPRING ROAD,  
 SOUTHWAY EXECUTIVE PARK - UNIT #511  
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 PHONE: (860) 529-6612, FAX: (860) 721-7709

**SITE GRADING & UTILITIES PLAN**  
 PREPARED FOR  
**ROCK LEDGE GOLF COURSE CLUBHOUSE & RESTAURANT**  
 STORAGE AREA EXPANSION PROJECT  
 289 SOUTH MAIN STREET  
 WEST HARTFORD, CONNECTICUT

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:  
  
 PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE MAY 28, 2015  
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# Deck Renovation and Expansion

Rockledge Country Club  
Town of West Hartford  
289 South Main Street  
West Hartford, Connecticut 06107

**bostwick**  
ARCHITECTS, LLC  
56 Arbor Street  
Hartford, CT 06106  
tel: 860.570.0869  
fax: 860.570.1318

architecture + interior design + environmental design  
www.bostwickllc.com

**consultants**

**CIVIL:**  
Hallisey Pearson & Cassidy  
35 Cold Springs Road  
Rocky Hill, CT 06067

**STRUCTURAL:**  
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Glastonbury, CT 06033

**MECHANICAL/ELECTRICAL:**  
Progressive Engineering, Inc.  
290 Burnside Avenue  
East Hartford, CT 06108

**issues + revisions:**

no.	date	issued
1	10.24.16	PERMIT
2		
3		
4		
5		
6		
7		
8		

project: 9923.07  
drawn by: JKB  
scale: AS NOTED

sheet:  
**MOUNTING HEIGHTS  
SYMBOLS, DRAWING  
LIST**

### MATERIALS LEGEND

	CONCRETE		PLYWOOD (SMALL SCALE)
	CONCRETE MASONRY UNIT		TILE
	BRICK		WOOD FRAMING THROUGH MEMBER
	STONE		WOOD FRAMING INTERRUPTED MEMBER
	METAL		FINISHED WOOD
	COMPACTED GRAVEL		BATT INSULATION
	CRUSHED STONE		ACOUSTICAL INSULATION
	UNDISTURBED SOIL		RIGID INSULATION

### CEILING SYMBOLS

	ROOM NUMBER WITH CEILING HEIGHT		SPEAKER
	RECESSED LIGHT FIXTURE		CEILING MOUNTED EXIT SIGN
	WALL MOUNTED LIGHT FIXTURE		WALL MOUNTED EXIT SIGN
	FLUSH FLUORESCENT		TILE SET OUT POINT
	PENDANT FLUORESCENT		GYP BD CEILING (REFER TO FINISH PLAN FOR MOISTURE RESISTANT LOCATIONS)
	RETURN GRILLE		CEMENT BOARD CEILING
	SUPPLY GRILLE		ACOUSTICAL TILE/PANEL CEILING GRID
	SMOKE DETECTOR		
	SPRINKLER HEAD		

### DRAWING SYMBOLS

	ROOM NUMBER		EXTERIOR ELEVATION KEY		KEY NOTE
	DOOR NUMBER		BUILDING SECTION KEY		DIMENSION LINE
	INTERIOR ELEVATION KEY		WALL SECTION KEY		MATCH LINE
	PLAN DETAIL KEY ( SQUARE )		DETAIL SECTION KEY		GRAPHIC SCALE
	LOUVER TYPE		EXISTING COLUMN GRID LINE		ROOM OCCUPANCY LOAD
	EXTERIOR WINDOW		NEW COLUMN GRID LINE		ACTUAL EGRESS OCCUPANCY
	INTERIOR WINDOW		WALL TYPE KEY		MAXIMUM ALLOWABLE EGRESS OCCUPANCY

### ABBREVIATIONS

& AND	ORC CIRCUMFERENCE	DW DUMB WAITER	FV FIELD VERIFY	MACH MACHINE	PA PUBLIC ADDRESS	RFH ROOF HATCH	TPD TOILET PAPER DISPENSER
< ANGLE	CJ CONTROL JOINT	DWG DRAWING	GA GAUGE	MAS MASONRY	PAR PARALLEL	RFL REFLECT	TPIN TOILET PARTITION
∠ AT	CLG CEILING	E EAST	GALV GALVANIZED	MATL MATERIAL	PB PANIC BAR	RH RIGHT HAND	TS TOP OF STEEL
A/C AIR CONDITIONING	CLL CONTRACT LIMIT LINE	EА EAST	GB GRAB BAR	MAX MAXIMUM	PBD PARTICLE BOARD	RM ROOM	TSL TOP OF SLAB
AB ANCHOR BOLT	CLR CLEAR	EB EXPANSION BOLT	GC GENERAL CONTRACTOR	MB MACHINE BOLT	PCF PRE CAST CONCRETE	RO ROUGH OPENING	TV TELEVISION
AC ACOUSTICAL	CLS CLOSURE	EF EACH FACE	GOMU GENERAL CONTRACTOR	MBR MEMBER	POZ POUNDS PER CUBIC FOOT	ROW RIGHT OF WAY	TW TOP OF WALL
ACPL ACOUSTICAL PLASTER	CMU CONCRETE MASONRY UNIT	EJ EXPANSION JOINT	GD GRADE	MC MINERAL CORE	PED PEDESTAL	RWC RAIN WATER CONDUCTOR	TYP TYPICAL
ACT ACOUSTIC TILE	CO CLEAN OUT	EL ELEVATION	GF GROUND FACE	MECH MECHANICAL	PERF PERFORATE	RWL RAINWATER LEADER	TZ TERRAZZO
ADA AMERICANS WITH DISABILITIES ACT	COL COLUMN	ELEC ELECTRIC	GL GLASS	MED MEDIUM	PERIM PERIMETER	SC SOLID CORE	UC UNDERCUT
ADJ ADJACENT	COMB COMBINATION	ELEV ELEVATOR	GLB GLASS BLOCK	MEP MECHANICAL/ELECTRICAL/PLUMBING	PFB PREFABRICATED	SECT SECTION	UNF UNFINISHED
ADJT ADJUSTABLE	COMP COMPRESS	EMER EMERGENCY	GPBD GYPSUM BOARD	MFD METAL FLOOR DECK	PLN PRE FINISHED	SCH SCHEDULE	UNON UNLESS OTHERWISE NOTED
AFF ABOVE FINISHED FLOOR	COMPO COMPOSITION	ENC ENCLOSE	GR GRADE	MFR MANUFACTURER	PPR PROPERTY LINE	SCT STRUCTURAL CLAY TILE	VAT VINYL ASBESTOS TILE
AGG AGGREGATE	CONC CONCRETE	EP ELECTRICAL PANEL BOARD	GRD GROUND	MH MANHOLE	PLAM PLASTIC LAMINATE	SD STORM DRAIN	VB VINYL BASE
ALT ALTERNATE	CONN CONNECTION	EQ EQUAL	GST GLAZED STRUCTURAL TILE	MIN MINIMUM	PLAS PLASTER	SECT SECTION	VCT VINYL COMPOSITION TILE
ALUM ALUMINUM	CONST CONSTRUCTION	EOP EQUIPMENT	GVGB GATE VALVE AND BOX	MISC MISCELLANEOUS	PLF POUNDS PER LINEAL FOOT	SF SQUARE FEET	VERT VERTICAL
ANOD ANODIZED	CONT CONTINUOUS	EST ESTIMATE	GYP GYPSUM	MKB MARKER BOARD	PNL PANEL	SGQL SAFETY GLASS	VG VERTICAL GRAIN
AP ACOUSTICAL PANEL	CONTR CONTRACTOR	EWC ELECTRIC WATER COOLER	H HARDENER	MWD MOLDING	POL POLISHED	SG SHEET GLASS	VF VERIFY IN FIELD
APPROX APPROXIMATE	COR CORRUGATED	EXC EXCAVATE	HB HOSE BIB	MWB MEMBER	PORC PORCELAIN	SGFT STRUCTURAL GLAZED FACING TILE	VR VAPOR RETARDER
ARCH ARCHITECT(URAL)	CPR COPPER	EXG EXISTING	HC HOLLOW CORE	MOP MOP RECEPTOR	PRSC PROJECTION SCREEN	SHT SHEET	VT VINYL TILE
ASB ASBESTOS	CPT CARPET	EXH EXHAUST	HD HEAVY DUTY	MOV MOVABLE	PSF POUNDS PER SQUARE FOOT	SIM SIMILAR	VWC VINYL WALL COVERING
ASPH ASPHALT	OR COLD ROLLED	EXIST EXISTING	HDR HEADER	MR MASONRY OPENING	PSI POUNDS PER SQUARE INCH	SL SLEEVE	W WEST
ASR AUTOMATIC SPRINKLER RISER	CRG CROSS GRAIN	EXP EXPOSED	HDW HARDWARE	MTR METAL ROOF DECK	PT PT	SMIL SMALL	W/ WITH
AUTO AUTOMATIC	CRS COURSE	EXPN EXPANSION	HMD HARDWOOD	MTR METAL THRESHOLD	PDM PLYWOOD	SP SOUNDPROOF	WB WOOD BASE
BD BOARD	CS COUNTERSINK	EXS EXTRA STRONG	HR HORIZONTAL	MTL METAL	QT QUARRY TILE </td <td>SPEC SPECIFICATION</td> <td>WC WATER CLOSET</td>	SPEC SPECIFICATION	WC WATER CLOSET
BET BETWEEN	CSMT CASEMENT	EXT EXTERIOR	HP HIGH POINT	MULL MULLION	R RISER	SPK SPEAKER	WD WOOD
BIT BITUMINOUS	CT CERAMIC TILE	FA FIRE ALARM	HT HEIGHT	MUL MULLION	RA RETURN AIR	SPL SPECIAL	WG WIRE GUNG
BUT BED JOINT	CTR CENTER	FD FLOOR DRAIN	HTG HEATING	MUV MOVABLE	RAD RADIUS	SQ SQUARE	WH WALL HUNG
BLDG BUILDING	CTSK COUNTERSINK	FE FIRE EXTINGUISHER	HVAC HEAT/ VENT./ AIR COND.	N NORTH	ROF ROOF DRAIN	SS STAINLESS STEEL	WO WITHOUT
BLK BLOCK	CW COLD WATER	FEC FIRE EXTINGUISHER CABINET	HW HOT WATER	NAT NATURAL	REC RECESS	STA STATION	WP WATERPROOF
BLKG BLOCKING	CYD CUBIC YARD	FF FACTORY FINISH	HWB HOT WATER HEATER	NIC NOT IN CONTRACT	REF REFERENCE	STD STANDARD	WP WORKING POINT
BM BEAM	D DRAIN	FFE FINISHED FLOOR ELEVATION	ID INSIDE DIAMETER	NO NUMBER	REFR REFRIGERATOR	STR STORAGE	WR WATER RESISTANT
BOT BOTTOM	DEM DEMOLISH	FGL FIBERGLASS	IE INVERT ELEVATION	NOM NOMINAL	REG REGISTER	SUSP SUSPENDED	WS WATER STOP
BRG BEARING	DEP DEPRESSED	FH FIRE HYDRANT	IN INCHES	NRN NOISE REDUCTION COEFFICIENT	REIN REINFORCE	SY SQUARE YARD	WSCT WAINSCOT
BRK BRICK	DET DETAIL	FHC FIRE HOSE CABINET	INCL INCLUDE	NTS NOT TO SCALE	REM REMOVE	SYM SYMMETRICAL	WTW WALL TO WALL
BS BOTH SIDES	DF DRINKING FOUNTAIN	FIN FINISHED	INSUL INSULATE	OA OVERALL	RES RESILIENT	SYN SYNTHETIC	WWF WELDED WIRE FABRIC
BSMT BASEMENT	DGM DIAGRAM	FJT FLUSH JOINT	INT INTERIOR	OBS OBSOURE	RES RESILIENT	SYS SYSTEM	
BUR BUILT UP ROOFING	DH DOUBLE HUNG	FLG FLASHING	INV INVERT	OC ON CENTER	RESIL RESILIENT	T&G TONGUE AND GROOVE	
BW BOTH WAYS	DIAG DIAGONAL	FLR FLOOR	JB JUNCTION BOX	OD OUTSIDE DIAMETER	RET RETURN	TB TOP OF BAR	
CAB CABINET	DIAM DIAMETER	FLUR FLUORESCENT	JT JOINT	OH OVERHEAD	REV REVISION	TC TERRA COTTA	
CAR CARPETING	DIM DIMENSION	FND FOUNDATION	KO KNOCKOUT	OP OPAQUE	RFG ROOFING	TEL TELEPHONE	
CB CATCH BASIN	DIST DISTANCE	FOS FACE OF STUD	KPL KICK PLATE	OPC OPENING		THK THICK	
CBD CHALK BOARD	DIV DIVISION	FR FRAME	LAM LAMINATE	OPH OPPOSITE HAND		THR THRESHOLD	
CEM CEMENT	DL DEAD LOAD	FRT FIRE RETARDANT	LAV LAVATORY	OPP OPPOSITE		TKBO TACK BOARD	
CFL COUNTER FLASHING	DNT DEMOUNTABLE	FS FULL SIZE	LBL LABEL			TKS TACKSTRIP	
CFT CUBIC FOOT	DP DAMPROOFING	FTG FOOTING	LH LEFT HAND				
CG CORNER GUARD	DPR DAMPER	FUR FURRED	LL LIVE LOAD				
CI CAST IRON	DS DOWN SPOUT	FUT FUTURE	LP LOW POINT				
	DT DRAIN TILE		LVR LOUVER				
	DTL DETAIL						

### LINE TYPE LEGEND

	EXISTING CONSTRUCTION		CENTER LINE
	REMOVALS		BREAK LINE
	NEW CONSTRUCTION		HIDDEN LINE

### DRAWING LIST

<b>COVER</b>	A-0.1 MOUNTING HEIGHTS, ABBREVIATIONS, DRAWING LIST
<b>CIVIL</b>	1 OF 2 TOPOGRAPHIC SURVEY SHOWING EXISTING CONDITIONS
	2 OF 2 SITE GRADING & UTILITIES PLAN
<b>ARCHITECTURAL</b>	
AC-1.0	CODE PLANS AND INFORMATION
AD-1.0	DEMOLITION FLOOR PLAN AND AWNING ROOF PLAN
AD-2.0	DEMOLITION EXTERIOR ELEVATIONS
A-1.0	UPPER AND LOWER LEVEL FLOOR PLANS
A-2.0	EXTERIOR ELEVATIONS AND DETAILS
<b>STRUCTURAL</b>	
S-1.0	DECK FRAMING PLAN, DETAILS AND GENERAL NOTES
S-2.0	DECK RAILING PLAN AND DETAILS
<b>ELECTRICAL</b>	
E-1.0	ELECTRICAL PLAN
E-2.0	ELECTRICAL SPECIFICATIONS

### MOUNTING HEIGHTS

MOUNTING HEIGHT FOR ALL OPERATING PARTS OF MISC ACCESSORIES IS 48" MAX.

card information: view  
file name:  
date and time plotted:  
plotted by:

# Deck Renovation and Expansion

Rockledge Country Club  
Town of West Hartford  
289 South Main Street  
West Hartford, Connecticut 06107

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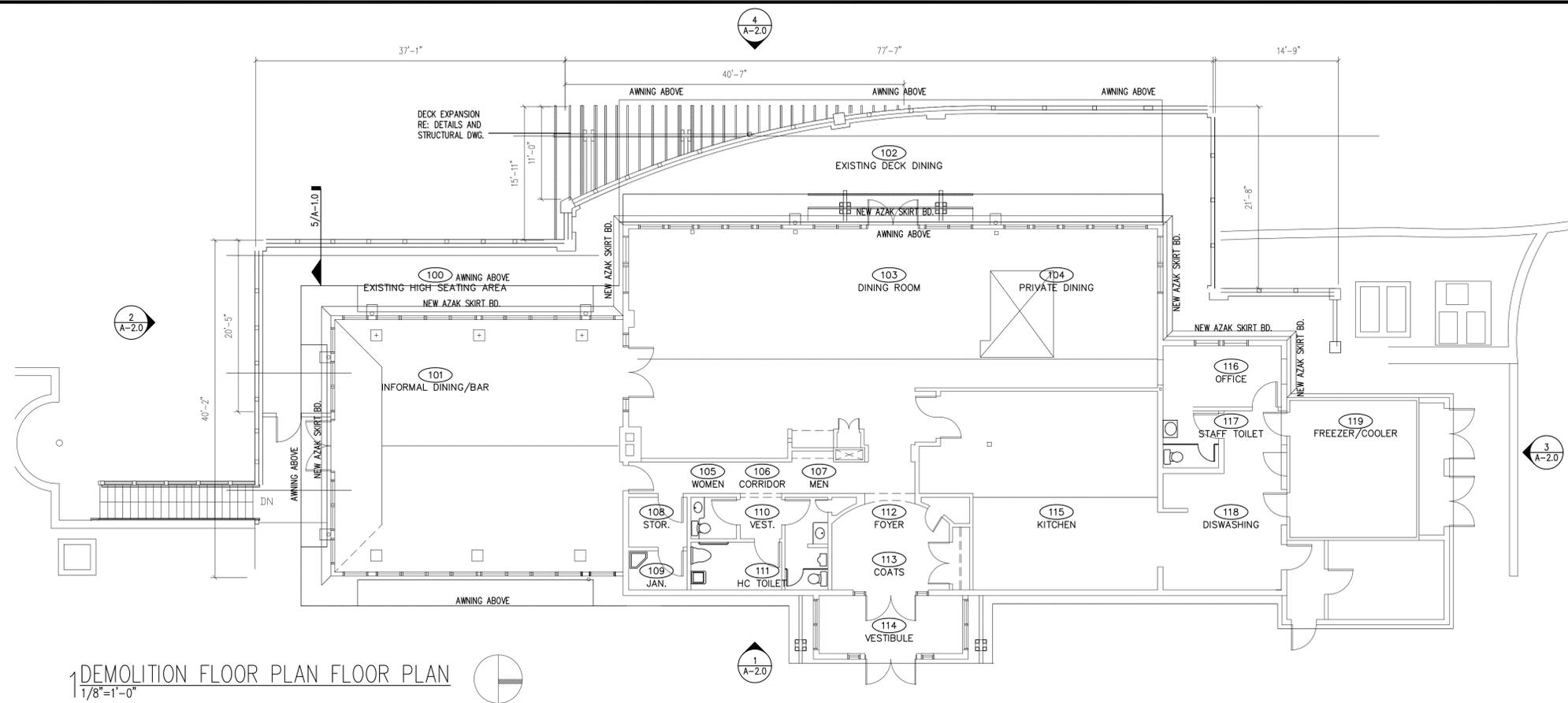
### issues + revisions:

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drawn by: JKB  
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**DEMOLITION FLOOR PLAN, AWNING LAYOUT**

**AD-1.0**



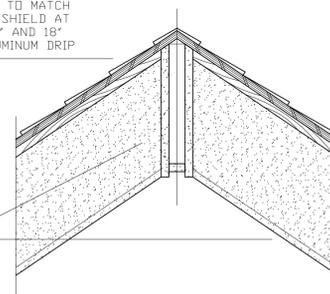
REMOVE EXISTING AWNINGS AND SUPPORT SYSTEM. PREPARE SURFACES FOR NEW SUPPORT SYSTEM AND AWNING. ANCHOR AWNINGS TO SOLID WOOD SUBSTRATE. SEAL ALL ANCHORS AT DECK AND ROOF.

**AWNING MATERIAL:**  
HERCULITE TRIVANTAGE -WEBLON COAST LINE PLUS AWNING FABRIC; COLORS:  
IVORY COAST 2739 (857239)  
GLADE GREEN 2711 (857211)  
STRIPE PATTERN  
**SUPPORT FRAMING SYSTEM:**  
GALVANIZED HEAVY GAUGE TUBULAR SUPPORT SYSTEM WITH GALVANIZED FITTINGS, ANCHORS AND FASTENERS.

NEW AWNING AND GALVANIZED SUPPORT SYSTEM OVER MAIN DINING DECK AREA SUPPORTS FOR THE STRUCTURE SHALL BE THROUGH THE ROOF INTO SOLID WOOD AND THE DECK BELOW. THE PROPOSED LAYOUT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. PLEASE NOTE THAT THERE ARE TWO ADDITIONAL AWNING PANELS ABOVE THE DOUBLE DOORS FROM THE INTERIOR DINING AREA TO THE DECK.

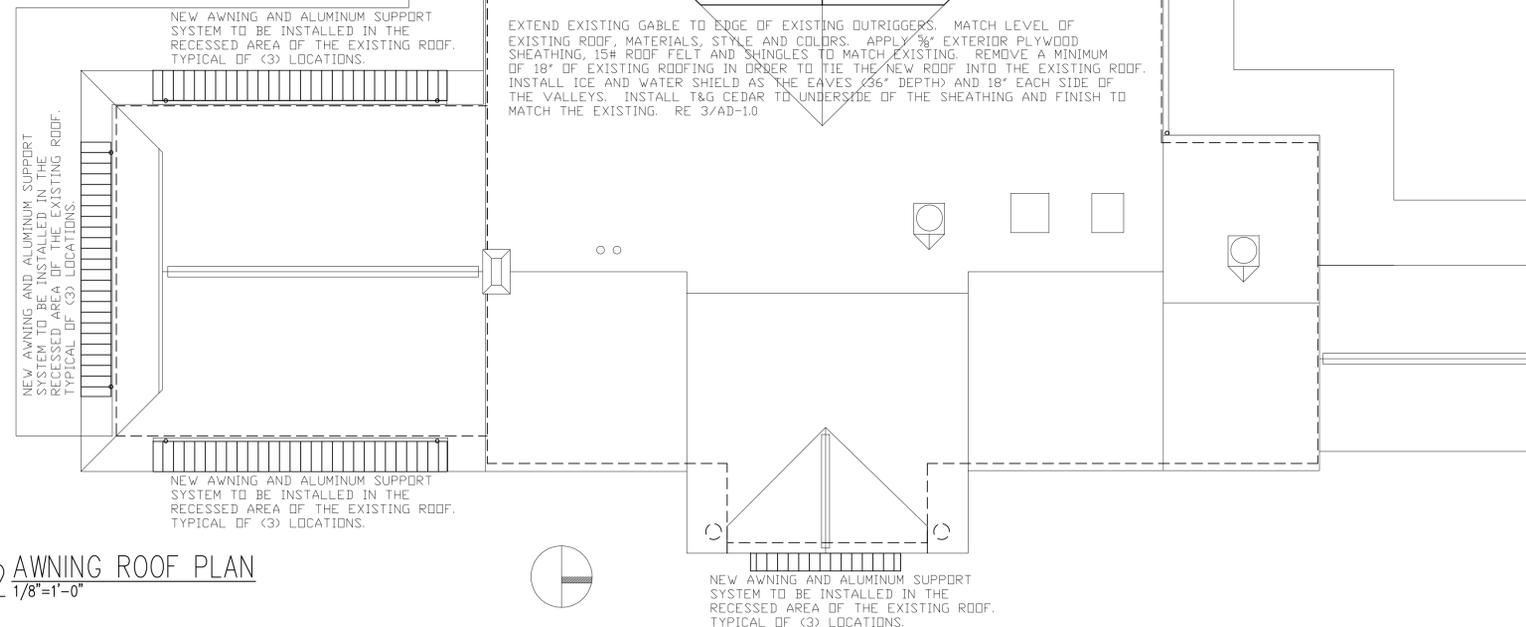
NEW FIBERGLAS ASPHALT SHINGLES TO MATCH EXISTING STYLE, AND COLOR. INSTALL OVER 10# FELT AND 3/8" EXTERIOR PLYWOOD SHEATHING. INSTALL T&G CEDAR TO UNDERSIDE OF THE SHEATHING. CEDAR TO MATCH SIZE AND COLOR. APPLY ICE AND WATER SHIELD AT EAVE AND UP THE ROOF A MINIMUM OF 36" AND 18" EACH SIDE OF THE VALLEY. INSTALL ALUMINUM DRIP EDGE AT THE EAVE.

APPLY AZAK OVER EACH 2x BEAM AND SUPPORT TO ENCASE THE 2x ON ALL SIDES. APPLY SILICONE SEALANT TO MATCH AZAK.



NEW AWNING AND ALUMINUM SUPPORT SYSTEM TO BE INSTALLED IN THE RECESSED AREA OF THE EXISTING ROOF. TYPICAL OF (3) LOCATIONS.

EXTEND EXISTING GABLE TO EDGE OF EXISTING OUTRIGGERS. MATCH LEVEL OF EXISTING ROOF, MATERIALS, STYLE AND COLORS. APPLY 3/8" EXTERIOR PLYWOOD SHEATHING, 15# ROOF FELT AND SHINGLES TO MATCH EXISTING. REMOVE A MINIMUM OF 18" OF EXISTING ROOFING IN ORDER TO TIE THE NEW ROOF INTO THE EXISTING ROOF. INSTALL ICE AND WATER SHIELD AS THE EAVES (36" DEPTH) AND 18" EACH SIDE OF THE VALLEYS. INSTALL T&G CEDAR TO UNDERSIDE OF THE SHEATHING AND FINISH TO MATCH THE EXISTING. RE 3/AD-1.0



**3 ROOF CONSTRUCTION**  
1 1/2"=1'-0"

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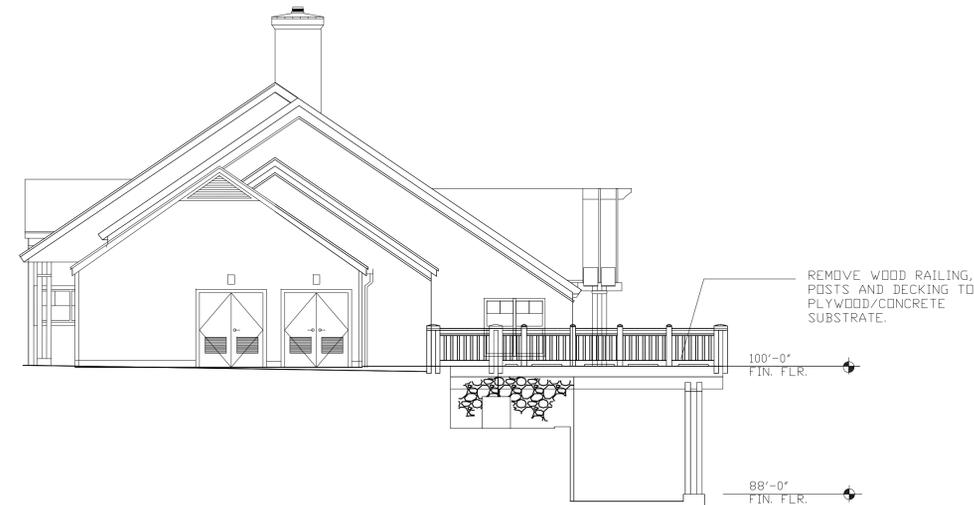
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 DEMOLITION  
 EXTERIOR  
 ELEVATIONS



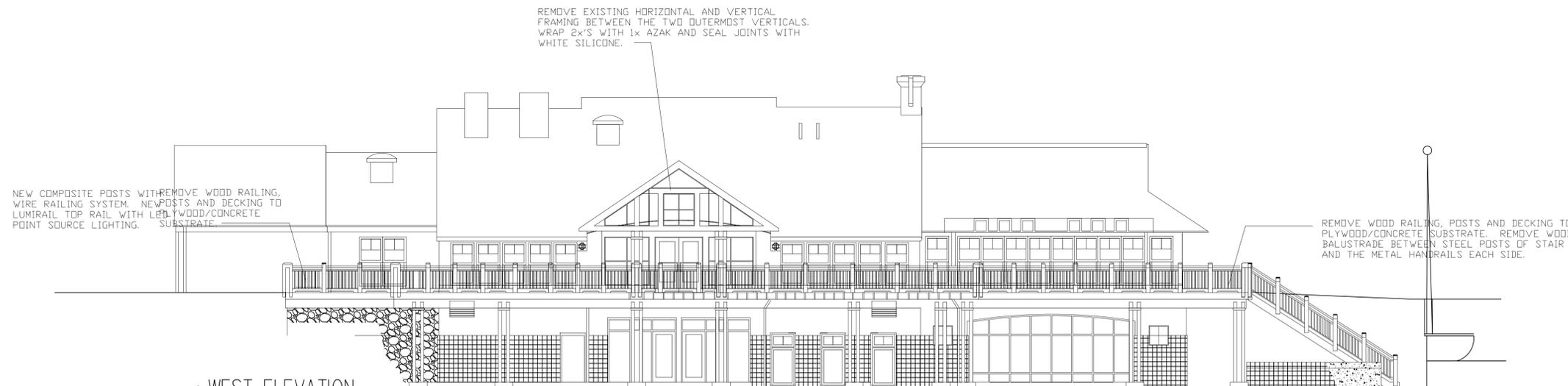
1 EAST ELEVATION  
 1/8"=1'-0"



2 SOUTH ELEVATION  
 1/8"=1'-0"



3 NORTH ELEVATION  
 1/8"=1'-0"



4 WEST ELEVATION  
 1/8"=1'-0"

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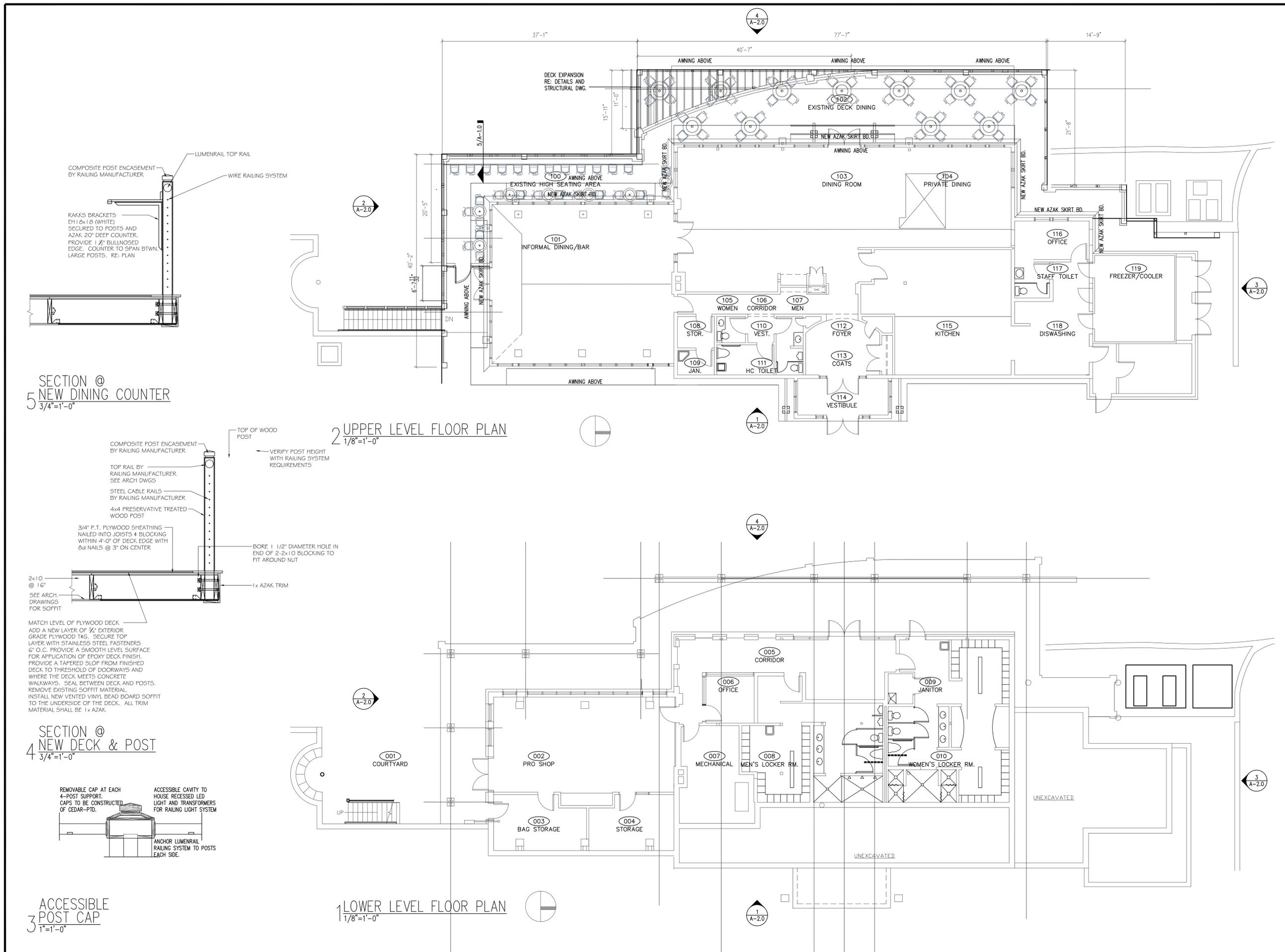
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sheet:  
UPPER AND  
LOWER LEVEL  
FLOOR PLANS



SECTION @  
5  
NEW DINING COUNTER  
3/4"=1'-0"

2 UPPER LEVEL FLOOR PLAN  
1/8"=1'-0"

SECTION @  
4  
NEW DECK & POST  
3/4"=1'-0"

1 LOWER LEVEL FLOOR PLAN  
1/8"=1'-0"

3 ACCESSIBLE  
POST CAP  
1"=1'-0"

CADD INFORMATION VIEW:  
FILE NAME:  
DATE AND TIME PLOTTED:  
PLOTTED BY:

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sheet:  
EXISTING  
EXTERIOR  
ELEVATIONS



1 EAST ELEVATION  
1/8"=1'-0"

**NEW RAILING SYSTEM:**  
POSTS ARE FAIRWAY COMPOSITE POSTS WHITE THAT SLIP OVER 4X4 PRESSURE TREATED POSTED SECURED TO THE DECK STRUCTURE. RE: STRUCTURAL DRAWINGS. INTERMEDIATE HORIZONTALS ARE STAINLESS STEEL CABLING WITH STAINLESS STEEL ANCHORS AND FITTINGS. PROVIDE INTERMEDIATE SUPPORTS CENTERED BETWEEN POST SUPPORTS. SECURE THESE INTERMEDIATE SUPPORTS TO THE TOP (LUMENRAIL LIGHT) RAIL AND THE DECK SURFACE. TOP RAIL IS A LUMENRAIL LED LIGHT SYSTEM WITH PIN POINT LIGHTING EVENLY SPACED - WHITE. RE: ELECTRICAL DRAWINGS.

**EXTERIOR TRIM:**  
REPLACE ALL EXISTING COMPOSITE TRIM ON THE BUILDING. THIS INCLUDES AROUND WINDOWS AND DOORS, EAVES, SOFFITS, FASCIAS, RAKES AND SKIRT BOARDS. REPLACE FLASHING WHERE IT IS EXPOSED WITH THE REMOVAL OF THE EXISTING TRIM. NEW TRIM TO BE 1x AZAK NOT PAINTED. SECURE WITH FASTMASTER CORTEX HIDDEN FASTENING SYSTEM (SCREWS AND PLUGS). EXCLUDE THE NORTH SECTION OF THE BUILDING THAT ENCLOSES THE COOLER/FREEZER AND STORAGE COMPLETED IN 2017.



2 SOUTH ELEVATION  
1/8"=1'-0"

DECK SHALL BE FINISHED IN A DUR-A-FLEX ACCELERA HC SYSTEM WITH ALUMINUM OXIDE BACK-ROLLED INTO THE TOPCOATS OVER THE FLAKES FOR SLIP RESISTANCE. WHERE SUBSTRATE IS MARINE GRADE OR CDX PLYWOOD IMBED 3/4" DUNCE CHOPPED STRAND FIBERGLASS MAT INTO DUR-A-FLEX POLYCRETE SL SELF-LEVEL URETHANE MORTAR AT 80 SQUARE FEET PER KIT.

NEW COMPOSITE POSTS WITH WIRE RAILING SYSTEM. NEW LUMIRAIL TOP RAIL WITH LED POINT SOURCE LIGHTING.

4 WEST ELEVATION  
1/8"=1'-0"



SCRAPE, SANDBLAST, FILL BARE STEEL AND SAND SMOOTH. PRIME AND TWO COATS OF PAINT STEEL ALL STEEL COLUMNS, PLATES AND CONNECTORS.

SCRAPE, SANDBLAST, FILL BARE STEEL AND SAND SMOOTH. PRIME AND TWO COATS OF PAINT STEEL TREADS, STRINGERS AND HANDRAIL POSTS OF STAIR.

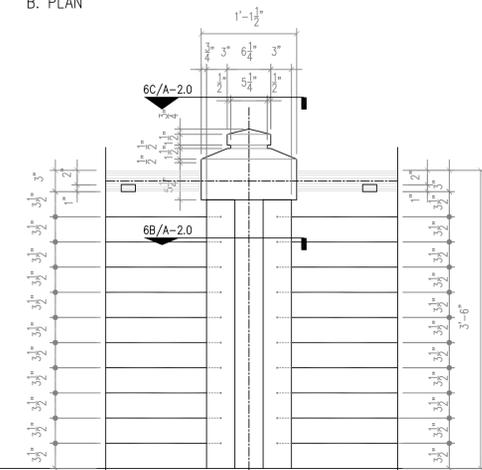
PAINT ALL WOOD COLUMNS WITH 2-COATS OF FINISH PAINT - WHITE.

NEW COMPOSITE POSTS WITH WIRE RAILING SYSTEM. NEW LUMIRAIL TOP RAIL WITH LED POINT SOURCE LIGHTING. NEW LUMIRAIL HANDRAILS EACH SIDE OF STAIR. WHERE ALUM AND STEEL TOUCH SEPARATE WITH NEOPRENE MATERIAL.

C. PLAN/SECTION

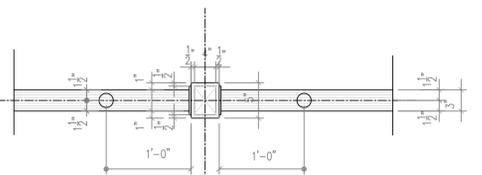
CAP OF MULTI-POSTS SHALL HAVE A REMOVABLE CAP TO ACCESS THE ELECTRONIC BALLASTS TYPICAL IN ALL LOCATIONS

B. PLAN

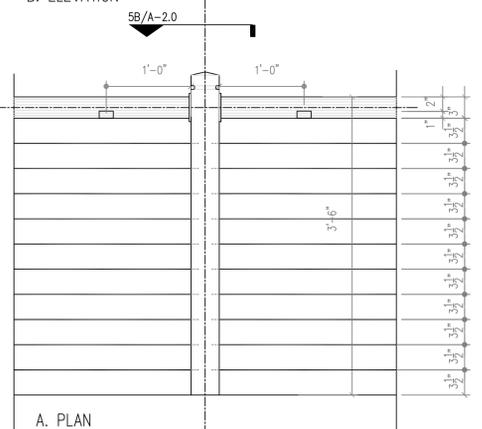


A. ELEVATION

6 MAIN POST RAILING SYSTEM  
1"=1'-0"



B. ELEVATION



A. PLAN

5 INTERMEDIATE POST RAILING SYSTEM  
1"=1'-0"

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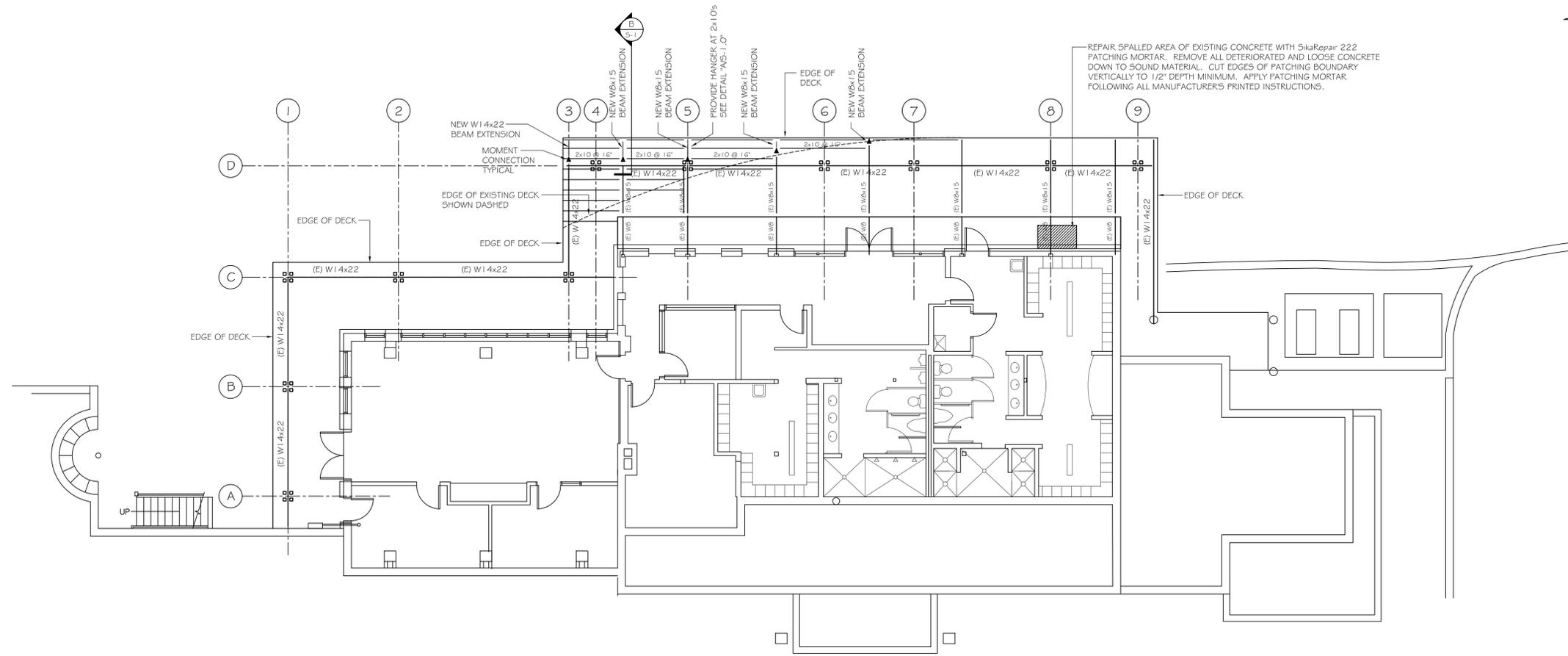
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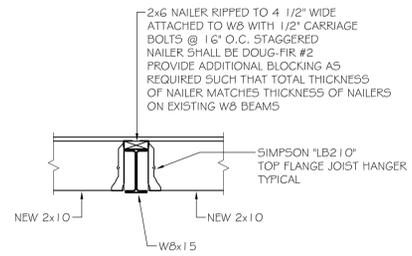
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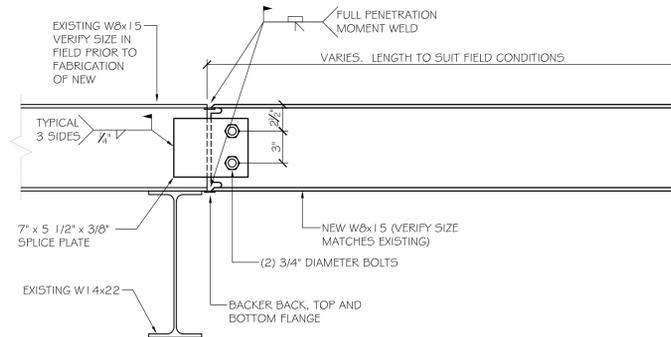


**I DECK FRAMING PLAN**  
SCALE: 1/8" = 1'-0"  
NOTE: WALLS SHOWN ARE LOWER LEVEL WALLS BELOW

1. STRUCTURAL STEEL:
  - A) ALL STRUCTURAL STEEL ROLLED SHAPES, PLATES, AND BARS SHALL CONFORM TO THE FOLLOWING:
    - ASTM A992 (Fy = 50 ksi) WIDE FLANGE & STRUCTURAL TEE SHAPES
    - ASTM A36 (Fy = 36 ksi) ALL OTHER STRUCTURAL STEEL SHAPES
  - B) ALL STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST A.I.S.C. SPECIFICATIONS.
  - C) ALL WELDED CONNECTIONS SHALL BE MADE USING E70XX ELECTRODES. WELDING SHALL COMPLY WITH A.I.S.C. AND A.W.S. SPECIFICATIONS AND SHALL BE PERFORMED BY A.W.S. CERTIFIED WELDERS. WELD SIZES NOT INDICATED ON THE DRAWINGS SHALL BE MINIMUM WELD SIZES, AS REQUIRED BY THE A.I.S.C., BASED ON THE THICKNESS OF THE THICKER MEMBER IN THE CONNECTION.
  - D) BOLTED CONNECTIONS SHALL BE MADE USING 3/4" DIAMETER A-325 HIGH STRENGTH BOLTS, UNLESS OTHERWISE NOTED.
  - E) ALL STRUCTURAL STEEL SHALL BE SHOP PRIMED WITH A RUST-INHIBITIVE PRIMER. TOUCH-UP ALL SCRATCHES, WELD BURNS, AND OTHER MARKS IN THE FIELD AFTER STEEL IS ERECTED.
  - F) ALL CARRIAGE BOLTS SHALL BE HOT DIP GALVANIZED.
2. TIMBER:
  - A) ALL WOOD SHALL BE PRESERVATIVE TREATED LUMBER. PRESERVATIVE TREATED LUMBER SHALL BE SOUTHERN YELLOW PINE.
  - B) FASTEN LUMBER SECURELY TO ALL SUPPORTS.
  - C) ALL PLYWOOD SHALL BE PRESERVATIVE TREATED, TONGUE AND GROOVE, RATED FOR EXTERIOR EXPOSURE.
  - D) ALL METAL CONNECTORS SHALL BE BY SIMPSON, AND SHALL BE GALVANIZED.
  - E) ALL TIMBER FRAMING SHALL COMPLY WITH THE NDS (NATIONAL DESIGN SPECIFICATION) AND ALL APPLICABLE BUILDING CODES.
  - F) THE GENERAL CONTRACTOR AND THIS SUBCONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OF RECORD (S.E.R.) OF ANY AND ALL CHANGES TO TIMBER COMPONENTS AND MATERIAL SUBSTITUTIONS FROM THOSE ON THE APPROVED SHOP DRAWINGS SO THE S.E.R. CAN REVIEW THE MODIFICATIONS PRIOR TO INSTALLATION.
3. RAILINGS:
  - A) DESIGN OF ALL RAILING COMPONENTS, OTHER THAN 4x4 WOOD POST INSERTS, IS DESIGN DELEGATED TO THE RAILING MANUFACTURER.
  - B) RAILINGS SHALL BE DESIGNED FOR LOADINGS REQUIRED IN THE 2003 IBC.
  - C) COORDINATE ALL RAILING DIMENSIONS, TYPES, SPACINGS, AND FEATURES WITH ARCHITECTURAL DRAWINGS AND EXISTING CONDITIONS.
  - D) SUBMIT STAMPED SHOP DRAWINGS FOR ALL RAILING COMPONENTS AND SYSTEMS TO ARCHITECT AND ENGINEER.
  - E) SHOP DRAWINGS SHALL INCLUDE CALCULATIONS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CT.
3. MISCELLANEOUS:
  - A) THE GENERAL CONTRACTOR SHALL VERIFY ALL DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - B) ALL WORK SHALL COMPLY WITH THE 2003 IBC THE 2005 CT SUPPLEMENT AND THE 2009 CT SUPPLEMENT.
  - C) ALL DIMENSIONS RELATED TO THE EXISTING CONSTRUCTION ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE FABRICATION, AND THAT ALL DETAILS ARE COMPATIBLE WITH EXISTING CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH, OR CONDITIONS THAT ARE NOT SHOWN ON THE CONTRACT DRAWINGS, BEFORE PROCEEDING WITH ANY WORK.
  - D) THE STRUCTURAL DRAWINGS SHALL NOT BE SCALED TO OBTAIN DIMENSIONS, OFFSETS, SPACINGS, ETC. FOR ANY STRUCTURAL FRAMING MEMBERS, FOUNDATION WALLS, ETC. WRITTEN DIMENSIONS ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS SHALL BE USED. IF A CONFLICT OR DISCREPANCY IS FOUND BETWEEN WRITTEN DIMENSIONS ON ARCHITECTURAL AND STRUCTURAL DRAWINGS, THE CONTRACTOR SHALL SUBMIT A WRITTEN "REQUEST FOR INFORMATION" TO THE STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH THE WORK.



**A TYPICAL DETAIL**  
SCALE: 3/4" = 1'-0"



**B TYPICAL DETAIL**  
SCALE: 3/4" = 1'-0"

NOTE: SIMILAR DETAIL AT W14 EXTENSION, EXCEPT PROVIDE 7" x 8 1/2" x 3/8" SPLICE PLATE WITH 3 BOLTS

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sheet:  
**DECK FRAMING PLAN,  
DETAILS, AND  
GENERAL NOTES**

CADD INFORMATION VIEW  
FILE NAME \*  
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PLOTTER BY \*

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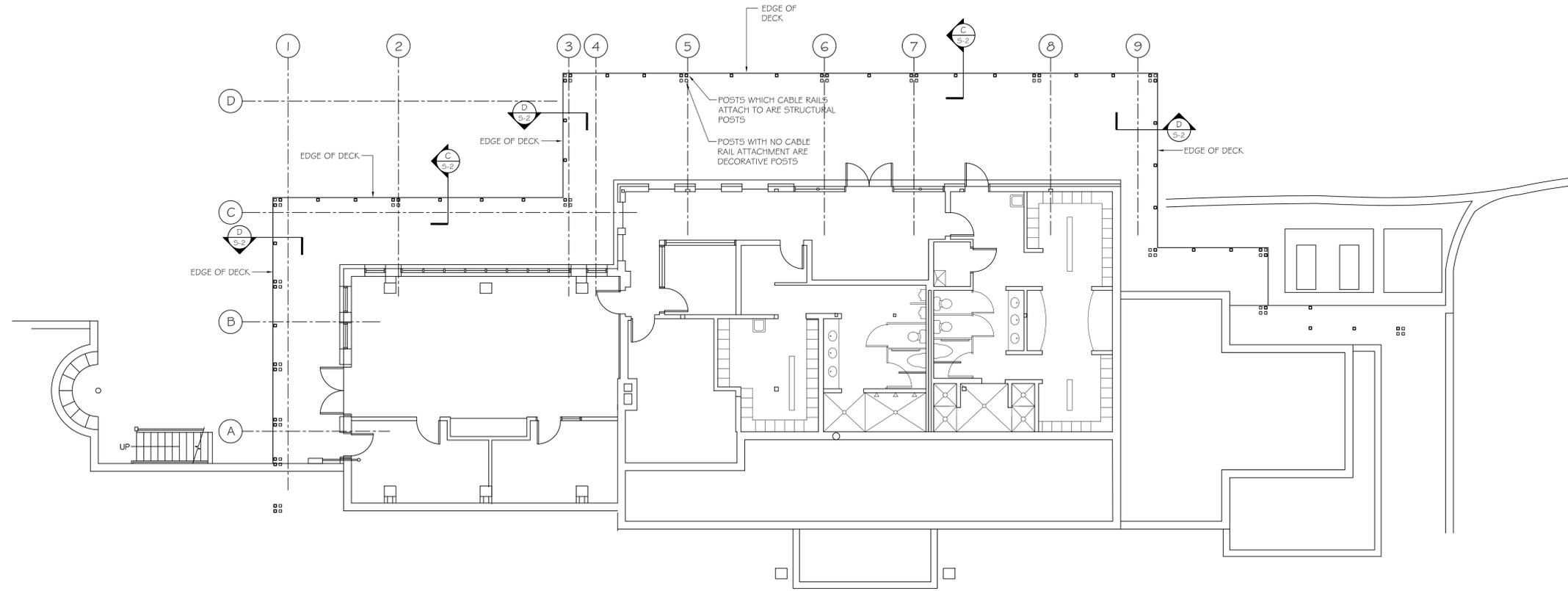
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**consultants**

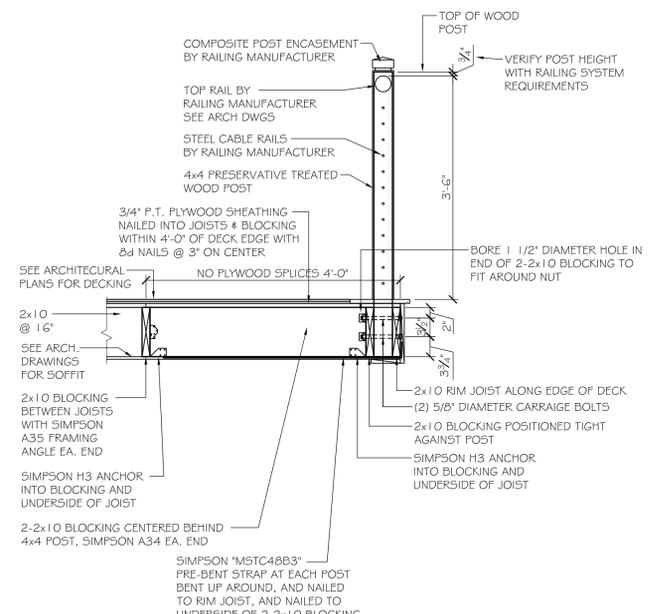
**CIVIL:**  
Hallisey Pearson & Cassidy  
35 Cold Springs Road  
Rocky Hill, CT 06067

**STRUCTURAL:**  
Redfern Engineering, LLC  
206 Buttonball Lane  
Glastonbury, CT 06033

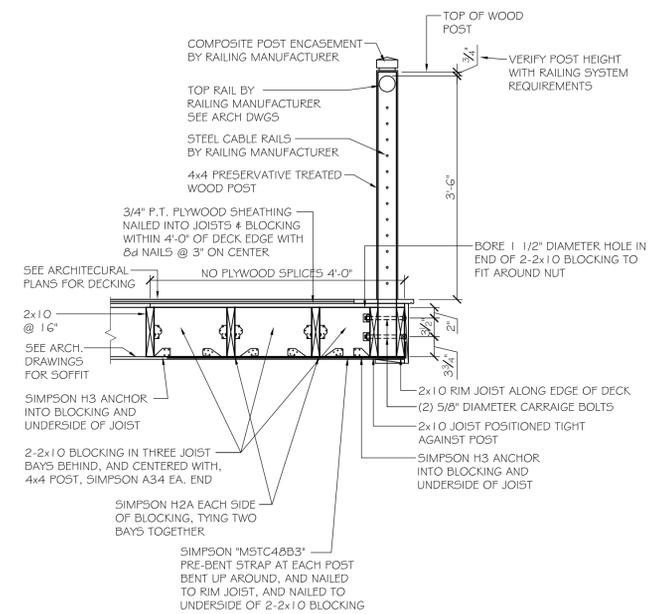
**MECHANICAL/ELECTRICAL:**  
Progressive Engineering, Inc.  
290 Burnside Avenue  
East Hartford, CT 06108



**2 DECK RAILING PLAN**  
SCALE: 1/8" = 1'-0"  
NOTE: WALLS SHOWN ARE LOWER LEVEL WALLS BELOW



**D TYPICAL SECTION**  
SCALE: 3/4" = 1'-0"



**C TYPICAL SECTION**  
SCALE: 3/4" = 1'-0"

issues + revisions:

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project: 9923.07  
drawn by: PMR  
scale: AS NOTED

sheet:  
**DECK RAILING PLAN  
AND DETAILS**

CADD INFORMATIONAL VIEW  
FILE NAME \*  
DATE AND TIME PLOTTED \*  
PLOTTED BY \*

# Deck Renovation and Expansion

Rockledge Country Club  
Town of West Hartford  
289 South Main Street  
West Hartford, Connecticut 06107

## bostwick

ARCHITECTS, LLC  
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consultants

### MECHANICAL:

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TEL: 860.895.9385 FAX: 860.895.8386

### STRUCTURAL:

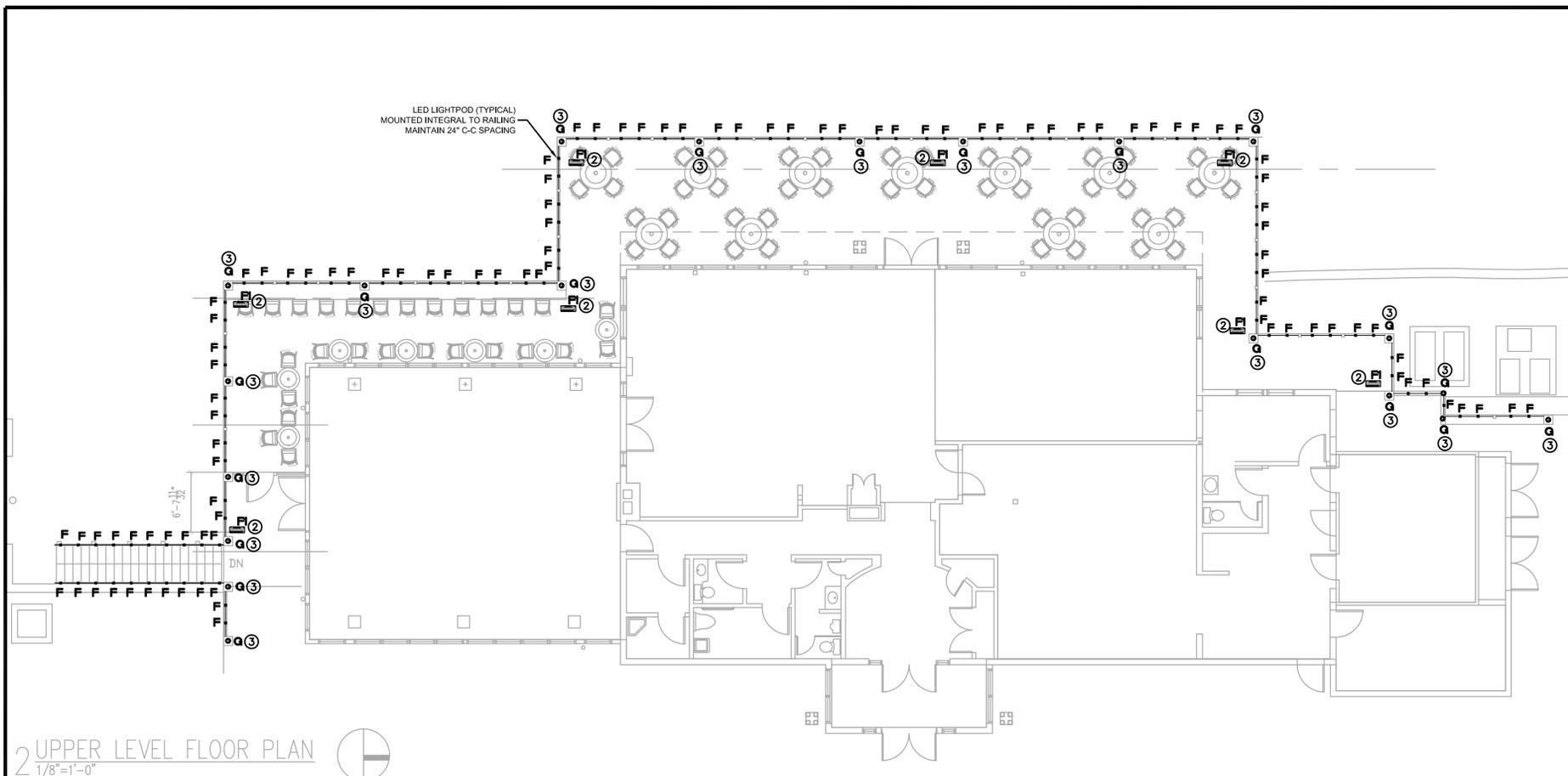
**Redfern Engineering, LLC**  
206 Buttonball Lane  
Glastonbury, CT 06033

issues + revisions:

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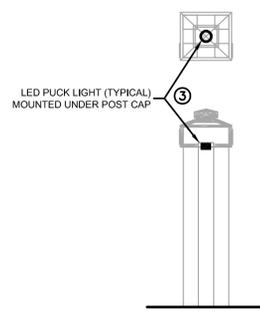
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drawn by: KAS  
scale: 1/8"=1'-0"

sheet:  
ELECTRICAL  
PLAN



### LIGHTING FIXTURE SCHEDULE:

- C CEILING MOUNTED DECORATIVE LED EXTERIOR FIXTURE  
FC LIGHTING # FCW3353-120-LED-4K-2400-WH
- F 2W LED WAGNER LUMENRAIL "LIGHTPOD" WITH ASYMETRIC LENS, FURNISHED AND  
INSTALLED BY RAILING CONTRACTOR, ALL 120V AND 24V WIRING BY ELECTRICAL  
CONTRACTOR.
- FI 100W WAGNER LED TRANSFORMER/CONTROLLER IN NEMA-3R ENCLOSURE, FURNISHED  
BUT RAILING CONTRACTOR, INSTALLED AND WIRED BY ELECTRICAL CONTRACTOR.
- Q WET LOCATION IP64 LED PUCK LIGHT WITH REMOTE HARD WIRED POWER SUPPLY IN  
NEMA-3R BOX (BOX NOT PROVIDED WITH FIXTURE).  
LUCIFER LIGHTING PUKLED LPK-2-80L-02A30-B-SGL PLA-2G-BB PSA-60-12H-JB-1

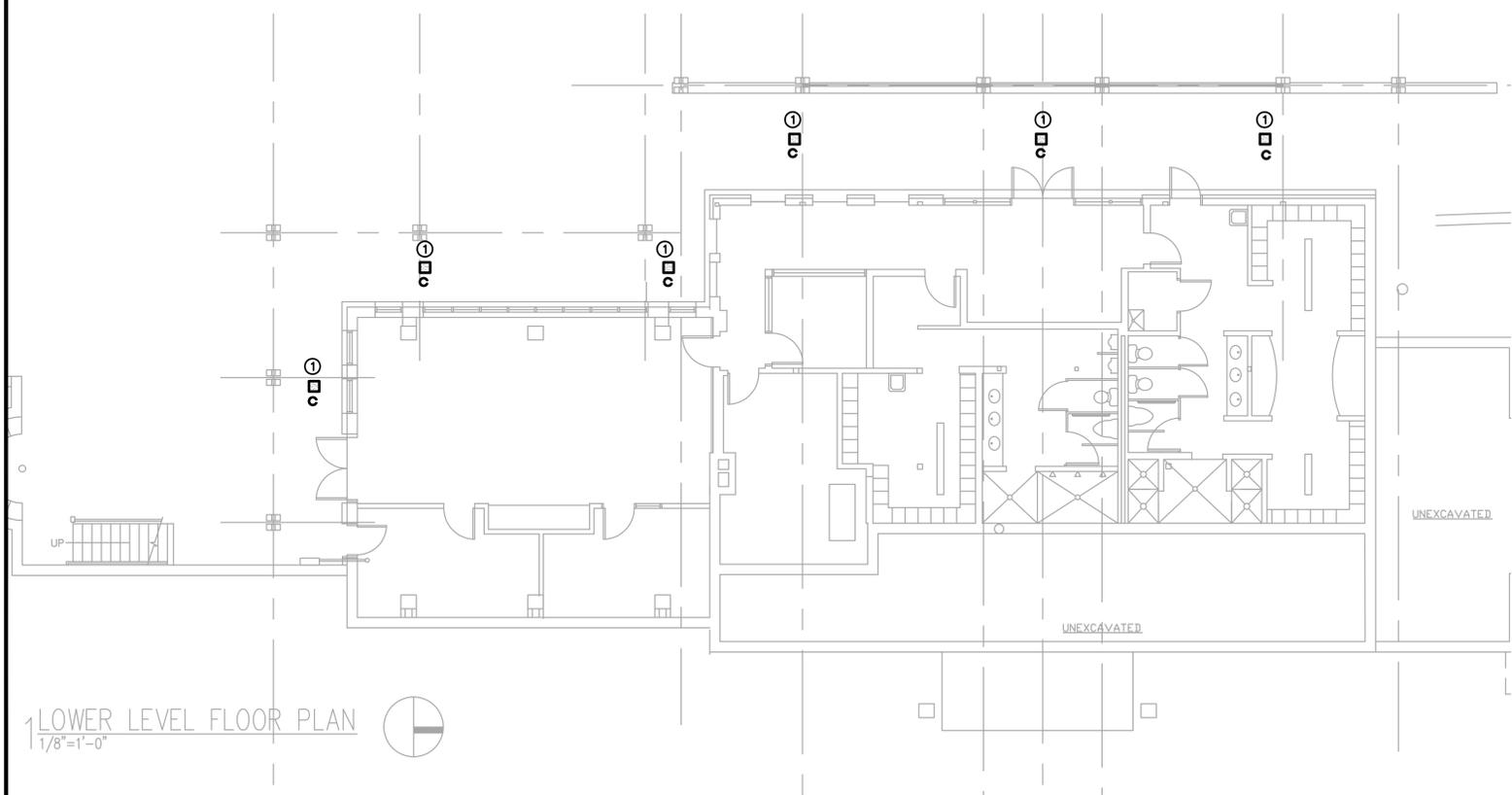


### DRAWING NOTES:

- 1 REMOVE EXISTING SURFACE MOUNTED FIXTURE UNDER DECK AND REPLACE WITH NEW. CONNECT NEW FIXTURE TO EXISTING SWITCH CIRCUIT.
- 2 WAGNER LEDPOD TRANSFORMER/CONTROLLER IN NEMA-3R ENCLOSURE, BOX PROVIDED WITH CONTROLLER, MOUNTED TO UNDERSIDE OF DECK. CONNECT TO EXISTING DECK RAILING LIGHTING SWITCH CIRCUIT. CONNECT LEDPOD FIXTURES TO CONTROLLER VIA #12 AWG WIRING, RADIAL WIRE LENGTH NOT TO EXCEED 70'. SEE WAGNER INSTALLATION DETAILS.
- 3 WET LOCATION LED PUCK LIGHT MOUNTED TO UNDERSIDE OF RAILING POST CAP TO ILLUMINATE INTERIOR OF RAILING POST. MOUNT DRIVER IN NEMA-3R ENCLOSURE BELOW DECK, CONNECT TO EXISTING DECK RAILING LIGHTING SWITCH CIRCUIT, RUN LOW VOLTAGE WIRING CONCEALED WITHIN POST SYSTEM UP TO FIXTURE. ALL RACEWAYS AND BOXES TO BE CONCEALED WITHIN POST CONSTRUCTION.

### GENERAL DRAWING NOTES:

- A. REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT LOCATION AND MOUNTING HEIGHTS OF ALL LIGHTING FIXTURES, SWITCHES, DEVICES AND OUTLETS.
- B. JUNCTION OR OUTLET BOXES SHALL BE INSTALLED SO AS TO ALLOW ACCESS TO COVER. PROVIDE ARCHITECT APPROVED ACCESS DOORS OR PLATES AS REQUIRED IN AREAS WHERE UNOBSTRUCTED ACCESS TO BOX OR OUTLET IS NOT POSSIBLE.
- C. PRIOR TO ORDERING FIXTURES, COORDINATE WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. IF DISCREPANCIES EXIST BETWEEN ARCHITECTURAL AND ENGINEERING INFORMATION OBTAIN CLARIFICATION PRIOR TO PROCEEDING.
- D. PROVIDE DEDICATED NEUTRAL CONDUCTORS FOR EACH BRANCH CIRCUIT.
- E. ALL WIRING IS 2#12 & 1#12 GND, IN NEMA-3R PLASTIC RACEWAYS. ALL WIRING SHALL BE RUN CONCEALED WHERE PHYSICALLY POSSIBLE. IN AREAS WITHOUT EXPOSED CONDUITS SHALL BE INSTALLED NEATLY AND ROUTED PARALLEL TO OR AT RIGHT ANGLES TO BUILDING STRUCTURE/LINES.



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**ELECTRICAL SPECIFICATIONS**

**1.1 GENERAL:**  
 Architect's General Conditions are a part of this Division. All work shall be done in strict accordance with the latest applicable issue of the National Electrical Code, local Codes and utility company requirements. All equipment is to be UL approved. The Contractor shall bear the cost of all fees, permits, licenses and taxes. Utility company charges for the permanent electric service shall be included in the Contractor's Bid.

Submit six (6) copies of manufacturer's drawings of electrical devices to the Owner for approval. Submit information on any other equipment to be used when requested by the Owner or Engineer.

Submit shop drawings for all equipment and/or devices specified. Include in shop drawings manufacturer's names, catalog numbers, cuts, diagrams and other such descriptive data required to identify equipment. No consideration will be given to a partial shop drawing submittal, emails or electronic copies. Submit equipment shop drawings by manufacturers supplying vendor, catalog reproductions shall not be acceptable.

- Where multiple quantities or types of equipment are submitted, provide a cover sheet (with a list of contents) on submittal identifying equipment or material submitted.
- Clearly indicate all specific options and/or alternatives. Failure to do so will be grounds for rejection.
- Clearly mark all shop drawings with specific associated specification section.

The Contractor shall provide a guarantee covering all material and workmanship for one (1) year following the date of acceptance.

The Contractor shall examine Architectural Drawings and the Drawings and Specifications of other trades to determine the extent of his work. He shall visit the site and familiarize himself with the project and local conditions before submitting his Bid as he shall be held responsible for any assumptions made thereof. The Drawings are diagrammatic and indicate the general arrangement of systems and work included in the Contract. If so directed by the Engineer, the Contractor shall, without extra charge, make reasonable modifications in the layout to prevent conflict with those of other trades and for proper installation of work. The Contractor shall coordinate locations of equipment with trades before starting construction. Any modifications to the equipment layout required for installation are to be performed at no additional cost to the Owner.

The Contractor shall arrange his work so that any power outage does not interfere with the Owner's operation.

The Contractor shall be responsible for relocating or modifying existing equipment and wiring required for new construction.

The electrical system shall be complete in all respects, tested, approved and ready for the beneficial use of the Owner.

**1.2 FIELD MEASUREMENTS:**  
 The Contractor shall verify in the field all measurements necessary for his work. Conduits, switches, receptacles, panels and light fixtures which have not already been installed may be relocated up to ten (10') feet from locations shown on the Drawing when so directed by the Engineer, at no cost to the Owner. Verify all interior lighting fixture locations and mounting heights with the Architect before installation.

**1.3 WIRING METHODS:**  
 Rigid galvanized steel conduit shall be used for all exposed wiring where subject to direct contact by customers except as noted below or as specifically noted on the Drawings.

Polyvinyl chloride (PVC) conduit may be used for wiring where concealed within the deck structure or overhead except as specifically otherwise noted on the Drawings.

Flexible Metallic Conduit (FMC) or liquidtight flexible metallic conduit (LFMC) shall be used for connections to vibrating equipment.

Wire #10 and smaller shall be solid conductor with THW, THWN insulation as required. Size #8 and larger shall be stranded conductor with Type THW insulation, unless otherwise indicated. Minimum size wire for light and power circuits shall be #12. All conductors shall be soft-annealed copper. Where practical and not otherwise stated, circuits on each of 3-phase legs may be combined with the neutral and run back to panel. The Contractor shall include a green ground conductor for all circuits; the use of the conduit system or cable covering as the sole means of grounding will not be permitted.

All conduits and wiring shall be run inside deck where possible. All exposed conduits shall be run neatly in lines parallel or perpendicular to deck framing. All splices shall be made with wet location Scotchlok spring connectors or acceptable equivalent. Entire wiring system shall be grounded as mentioned above.

**1.04 OUTLET AND JUNCTION BOXES:**  
 Outlet boxes for light fixtures in concrete walls or slabs shall be 4-inch octagonal mud boxes not less than 2-1/2-inches deep. Include fixture studs where required.

Switch and receptacle outlet boxes in masonry walls and partitions where wiring is concealed shall be standard 4-inches square, 1-1/2 inches-deep, galvanized, with extension cover for the particular device they will receive. Use plaster extensions not less than 1/2-inch deep for boxes installed in plastered walls or cast in concrete. Use 1-1/2-inch deep square corner tile wall extension for boxes installed in tile, exposed brick or exposed block masonry walls.

All boxes shall be securely fastened to the building structure. Suitable means shall be provided to support the outlet box to take the weight of the fixture. Recessed outlet boxes or their extension covers shall be set flush with face of finished wall, but in no case set greater than 1/4 inch behind finished face of wall. Receptacle boxes shall be approximately 18 inches on center above the finished floor, unless otherwise noted. Switch outlets shall be located 48 inches above finished floor, unless otherwise noted. The Contractor shall check with the Architectural Drawings for possible interference.

Junction and outlet boxes where exposed to the weather and wet locations shall be Nema-3R type and provided with watertight screw-on covers and gaskets. Floor outlets shall be adjustable type and waterproof where required.

**1.14 LIGHTING FIXTURES:**  
 The Contractor shall furnish and install all lighting equipment as shown and specified complete with lamps ready for operation.

Provide all required supports, hangers and seismic bracing for fixtures, including recessed troffers.

All lamps shall be as manufactured by General Electric or Sylvania. All lamps for new and existing relocated fixtures shall be new and be furnished and installed by the Contractor.

All ballasts for fluorescent fixtures shall be high power factor, CBM/ETL certified with an "A" sound rating, where possible. All ballasts shall be electronic Advance Mark V energy saving type or acceptable equivalent by General Electric or Universal, unless otherwise specified in the Lighting Fixture Schedule.

**1.21 SYSTEMS OPERATIONAL MANUALS:**  
 Upon completion of the work and at a time designated by the Engineer, the Contractor shall furnish instruction manuals, data, warranties, etc., and instruct the Owner or his representative as to the arrangement, location and operation of all equipment and systems furnished and installed under the Contract.

Contractor shall provide as-built documents to the Owner at the completion of the project.

**1.22 LOAD BALANCE:**  
 The Contractor shall balance the loads on the three phases in the electrical switchgear and panelboards insofar as physically possible, and report each panel loading to the Engineer.

**1.23 DEMOLITION:**  
 Disconnect, remove, and properly dispose of all electrical work not being reused as part of this project. All conductors made obsolete by this project shall be removed back to their source of supply. All abandoned conduits shall be capped.

The existing electrical services in the building must remain in operation during the renovation process. The Contractor shall maintain continuity of circuits for existing electrical items which remain.

**1.24 SHOP DRAWINGS:**  
 The following list of electrical items must be submitted by this Contractor for approval: Conduit and wire with fittings and connectors  
 All lighting fixtures (submit samples as requested)

**1.25 GENERAL WIRING TESTS:**  
 At the time of final inspection and test, all wiring and connections throughout the expansion areas must be completed, devices and equipment properly operating, all lighting fixtures installed, and power and lighting circuit and control wiring clearly identified with approved tags ready for acceptance. Each system shall test free from short circuits and from grounds.  
 Insulation resistance for low voltage cables and wiring shall be performed at 1000 Volt D.C. for one-half (1/2) minute. When insulation resistance must be determined, all switchboards, panelboards, fuse holders, switches, and overcurrent devices shall be in place, and the insulation resistance when tested at 500 Volts D.C. shall be no less than 100,000 ohms for #14 and #12 wire and 250,000 ohms for #10 wire and larger.

**GENERAL NOTES:**

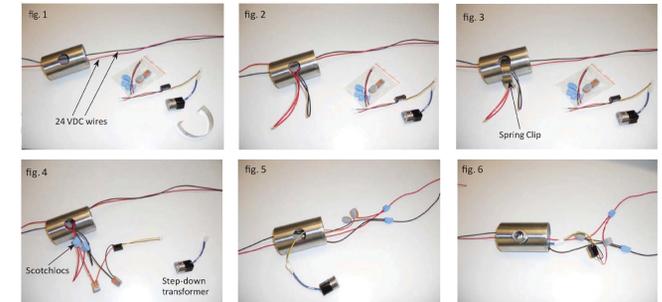
- DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. CONTRACTOR SHALL:
  - FOLLOW DRAWINGS IN LAYING OUT WORK AND CHECK DRAWINGS AND OTHER TRADES RELATING TO WORK TO VERIFY SPACE IN WHICH WORK WILL BE INSTALLED. MAINTAIN HEADROOM AND MINIMUM CODE REQUIRED WORKING CLEARANCES AT ALL TIMES.
  - FURNISH AND INSTALL ALL NECESSARY OUTLETS, SUPPORTS, PULLBOXES, CONDUITS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES, REGULATIONS, BUILDING STANDARDS AND THE BEST PRACTICES OF THE TRADE FOR INSTALLATION OF WORK.
- DRAWINGS INDICATE SIZE AND GENERAL LOCATION OF WORK. SCALED DIMENSIONS SHALL NOT BE USED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASUREMENTS AND VERIFICATION OF FIELD CONDITIONS PRIOR TO INSTALLATION OF WORK. ANY CHANGES IN WORK NECESSITATED BY FAILURE OF THE CONTRACTOR TO COMPLY WITH THIS PROVISION SHALL BE UNDERTAKEN BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL NECESSARY CUTTING AND PATCHING FOR WORK OF THIS CONTRACT SHALL BE BY THE CONTRACTOR. PRIOR TO PERFORMING ANY CHASING, CHOPPING OR CORE DRILLING, THE CONTRACTOR SHALL FIELD INVESTIGATE CONDITIONS AND COORDINATE WITH ALL APPROPRIATE TRADES TO ENSURE THAT WORK WILL BE IN HARMONY WITH OTHER WORK AND NOT AFFECT ANY EXISTING SYSTEMS. WORK ON EXISTING SYSTEMS MUST BE APPROVED BY THE OWNER PRIOR TO PROCEEDING.
- CONTRACTOR SHALL COORDINATE WORK WITH FIRE PROTECTION AND OTHER TRADES FOR EXACT LOCATIONS OF ALL EQUIPMENT AND CONTROL DEVICES. LOCATIONS AS SHOWN ON ELECTRICAL DRAWINGS ARE APPROXIMATE.
- OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RESISTANCE RATED WALLS, PARTITIONS, FLOORS OR CEILINGS SHALL BE FIRE STOPPED USING APPROVED METHODS. SEALANT SHALL BE RATED FOR THREE (3) HOURS.
- ALL EQUIPMENT, DEVICE BOXES, JUNCTION BOXES, PULLBOXES AND OUTLET BOXES SHALL BE INSTALLED SO AS TO ALLOW ACCESS TO THE COVER. IF NECESSARY AND APPROVED BY ENGINEER, PROVIDE ACCESS DOORS OR COVER PLATES IN AREAS WHERE UNOBSTRUCTED ACCESS IS NOT POSSIBLE.
- COORDINATE SCOPE OF DEMOLITION WORK WITH ARCHITECTURAL DRAWINGS.



**Wagner Lumenrail® Ledpod**

**INSTALLATION AND WIRING INSTRUCTIONS:**

- Installation must be performed by a licensed electrician and all wiring must conform to local electrical code. Read all instructions before beginning installation. Contact R&B Wagner, Inc. with any questions at 888-243-6914 or systems@mailwagner.com.
- Turn off the power before terminating the Driver or fixtures. Never perform electrical work on a live circuit.
- Ensure all Ledpod holes are de-burred inside and out.
- Install 24 VDC positive (+) and negative (-) wires down hand rail (fig. 1). Refer to driver spec sheet for wire gauge recommendations.
- Pull a loop of the 24 VDC wires out of the 25mm Ledpod hole (fig. 2).
- Install the retaining spring (fig. 3).
- Install the Scotchlocs to the 24 VDC main wires and the step down transformer (fig. 4). Ensure that the polarity of wires from the step-down transformer (+ = red, - = black) connect to the correct polarity main 24 VDC wires.
- Carefully push wires, Scotchlocs, and step down transformer into the hole (fig. 5).
- Plug the Ledpod into the step-down transformer.



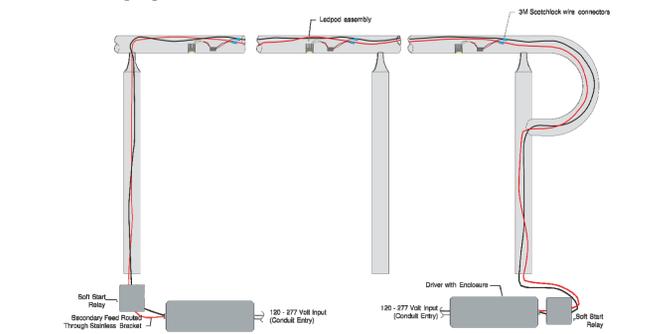
WAGNER ARCHITECTURAL | (414) 716 8401 | SYSTEMS@MAILWAGNER.COM | WAGNERARCHITECTURAL.COM

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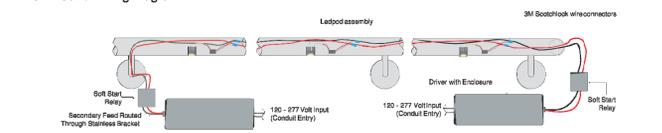


**Wagner Lumenrail® Ledpod**

**Post Mount Wiring Diagram**

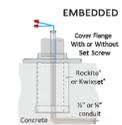
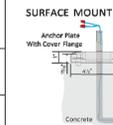


**Wall Mount Wiring Diagram**



**Remote Distance Chart**

24VDC 100W Driver	MAXIMUM DISTANCE FROM DRIVER TO FIRST LED				
WIRE SIZE	10 AWG	12 AWG	14 AWG	16 AWG	18 AWG
DISTANCE	120'	71'	46'	29'	18'



NOTE: Wire to be supplied by installer, appropriately sized, and meeting local electrical code.



WAGNER ARCHITECTURAL | (414) 716 8401 | SYSTEMS@MAILWAGNER.COM | WAGNERARCHITECTURAL.COM

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ELECTRICAL SYMBOL LIST	
	MOTOR OR MOTORIZED EQUIPMENT
	HEAVY DUTY FUSED DISCONNECT SWITCH, NEMA TYPE 3R FOR WET LOCATION. PROVIDE FUSES AS REQUIRED.
	COMBINATION FUSED DISCONNECT SWITCH/MAGNETIC MOTOR STARTER
	20A SPECIFICATION GRADE DUPLEX RECEPTACLE, HUBBELL 5362 MOUNT @ 18" AFF UNLESS NOTED OTHERWISE SUBLETTER "C" INDICATES MOUNTING HEIGHT OF 36" AFF OR 6" ABOVE COUNTER HEIGHT SUBLETTER "M" INDICATES RECEPTACLE MOUNTED IN MILLWORK, COORDINATE WITH SUPPLIED MILLWORK SUBLETTER "O" INDICATES RECEPTACLE MOUNTED IN CEILING TILE. COORD LOCATION WITH CLG MTD PROJECTOR LOCATION. SUBLETTER "GF" INDICATES GROUND FAULT INTERRUPTER SUBLETTER "WP" INDICATES WEATHER PROOF SUBLETTER "TP" INDICATES TAMPER PROOF
	DOUBLE DUPLEX RECEPTACLE CONSISTING OF TWO SINGLE RECEPTACLES UNDER A COMMON FACEPLATE. MOUNT AT 18" AFF UNLESS NOTED OTHERWISE.
	TEL, DATA AND TEL/DATA OUTLET LOCATIONS FROM 4" DEEP BACKBOX WITH 1-1/4" CONDUIT TO ABOVE ACCESSIBLE CEILING LOCATION DEVICES AND CABLE BY OTHERS. MOUNT @ 18" AFF UNLESS NOTED OTHERWISE. SUBLETTER "M" INDICATES MOUNTING HEIGHT OF 60" AFF SUBLETTER "C" INDICATES MOUNTING HEIGHT OF 36" AFF OR 6" ABOVE COUNTER HEIGHT
	JUNCTION BOX SIZED AS REQUIRED BY NEC
	HOMERUN, TOP NUMBER INDICATES PANEL, BOTTOM NUMBER INDICATES BREAKER SIZE. WIRE IS 2#12 & 1#12 GND IN 3/4" UNLESS NOTED OTHERWISE.
	CEILING MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR
	LIGHT SWITCH, HUBBELL HEL1221, MOUNT AT 42" AFF SUBLETTER "3" INDICATES 3-WAY SUBLETTER "M" INDICATES MOTION SENSOR SUBLETTER "LV" INDICATES LOW VOLTAGE SWITCH CONNECTED TO LIGHTING CONTROL SYSTEM SUBLETTER "TM" INDICATES DIGITAL TIMER SWITCH, WATT STOPPER # TS-400, TIME-OUT ADJUSTMENT RANGE FROM 5 MINUTES TO 12 HOURS.
	277/480V PANELBOARD
	120/208V PANELBOARD
	FIRE ALARM PULL STATION, NEW TO MATCH BUILDING STANDARD
	FIRE ALARM HORN/STROBE, NEW TO MATCH BUILDING STANDARD

ABBREVIATIONS			
ABV.	DESCRIPTION	ABV.	DESCRIPTION
TYP.	TYPICAL	WP	WEATHER PROOF
E.C.	ELECTRICAL CONTRACTOR	TP	TAMPER PROOF
F.A.	FIRE ALARM	GFI	GROUND FAULT INTERRUPTER
U.O.N.	UNLESS OTHERWISE NOTED	AFG	ABOVE FINISHED GRADE
CLG.	CEILING	RM	REMOVE
REQD.	REQUIRED	N	NEW
MTD.	MOUNTED	EX	EXISTING
MIN.	MINIMUM	RL	EXISTING TO BE RELOCATED
C/B	CIRCUIT BREAKER	NL	NEW LOCATION
AFF	ABOVE FINISHED FLOOR	EM	EMERGENCY
WG	WIRE GUARD	RE	REPLACE EXISTING
WAP	WIRELESS ACCESS POINT		

LINE REPRESENTATION	
	NEW SWITCH TYPE WIRING
	NEW WIRING/EQUIPMENT
	EXISTING WIRING/EQUIPMENT
	DEMOLISH WIRING/EQUIPMENT

project name

**Deck Renovation and Expansion**

Rockledge Country Club  
 Town of West Hartford  
 289 South Main Street  
 West Hartford, Connecticut 06107

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 TEL: 860.995.9395 FAX: 860.995.9396

**STRUCTURAL:**  
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 206 Buttonball Lane  
 Glastonbury, CT 06033

**issues + revisions:**

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**ELECTRICAL SPECIFICATIONS AND DETAILS**

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