

**WEST HARTFORD TOWN COUNCIL MEETING  
MAY 12, 2015  
LEGISLATIVE CHAMBER**

**ITEM #1: MEETING CALLED TO ORDER – 7:30 P.M.**

President Slifka: Now that it's 7:30, we can call the Council Meeting to order and begin with the Pledge of Allegiance.

**ITEM #2: PLEDGE OF ALLEGIANCE**

President Slifka: And if I could ask my colleagues to remain standing for a moment. West Hartford lost one of the true pillars of our community since we have last been together, and I feel like whatever tribute I make right now will be, will be completely inadequate, but I'll do my best. That person was Pat Sinatro. Pat was an Air Force veteran in the Korean War, a true son of West Hartford, created an incredibly large family here and they have had an impact on almost every aspect of life in West Hartford during Pat's lifetime, including the service of his own son, Mark, at this table with us some years ago. Pat was very active with UConn, UConn Foundation. In fact, I think just days before his passing he received a very significant award from UConn. He was active in the tennis community in West Hartford. He was involved with the youth sports in many, many ways in our town, and also just one of those people who was there for everything, one of those people with whom managers going back many years would run things through just to make sure that they opined and that we listened to them because his opinion meant a lot. Perhaps at the end of his life, the most lasting contribution he made that we would be aware of was his work with Veteran's Affairs Committee. He was a very active member. Mrs. Hall had the privilege of working with him for many years, which have ultimately resulted in the construction of the Veteran's Memorial right here in West Hartford, which I will note is the Connecticut Veteran's Memorial, not just a West Hartford Veteran's Memorial. As I said, this small tribute does not do justice to the contribution Pat has made to this community, but we all owe him and his family a debt of gratitude and I would like to have a moment of silence in honor of his memory. Thank you very much. Will now move to the Roll Call please. Ms. Labrot?

**ITEM #3: ROLL CALL - COUNCILORS CHRIS BARNES, SHARI CANTOR, HARRY CAPTAIN, LEON DAVIDOFF, DENISE HALL, CLARE KINDALL, AND SCOTT SLIFKA WERE PRESENT. COUNCILORS JUDY CASPERSON AND BURKE DOAR WERE ABSENT. MS. RENFRO SAT IN ON THE ZONING APPLICATION.**

President Slifka: Thank you, Ms. Labrot. Before we get to # 4, I would like to entertain a motion to suspend the rules for the purpose of a proclamation and an associated announcement.

Councilor Cantor: So moved.

Councilor Kindall: Second.

President Slifka: All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries, and I am going to defer to my colleague, Deputy Mayor Cantor to read this because she has worked at this intimately since joining council many years ago, and but I want to just begin by saying we are graced with a West Hartford poet, what was the word I was, my gosh, I'm blanking. No, no, not laureate. Royalty. I want to say poetry royalty. Maybe no wonder I couldn't pronounce it and why I won't be the poet laureate someday. Because we have our current Poet Laureate, our first Poet Laureate, and our Poet Laureate-to-be all in attendance, and it is, we thank you guys for everything you've done. Shari is going to talk about it in a moment, but I don't know that we've ever had this many in one place at one time at a council meeting, so we are truly honored to have all of you here, and with that I am going to turn it over to Mrs. Cantor.

Councilor Cantor: Thank you. So just a little background. When I joined the council eleven years ago, we received a letter from actually Ginny Connors saying that West Hartford is very rich in culture and we should have, we have so much talent in our midst, and she suggested that we start a Poet Laureate. We had never had one before, so it was my first resolution on the council, and her recommendation was to nominate Maria Sassi to be Poet Laureate, and Marie and I actually met. We talked to Ginny, we decided that there was some sort of a little bit of outreach. We decided to move ahead and name Maria Sassi Poet Laureate, our first Poet Laureate. And we met several times on what this role means to the town and what, and then the, and then we actually talked about the succession plan, and we decided that there would be four Poet Laureates that would recommend the next Poet Laureate. This is the first time we've actually had that happen. We've had Maria, then we had Dennis Barone, then we had Jim Finnegan and now, and we had Ginny who is, Ginny Connors, who is just finishing up, and now we really had a board, and I sat back and listened to their recommendation, and it was wonderful for our new Poet Laureate, who I will read the proclamation. But their roles have been individual and different. They are all very, very well known in their field. They are respected among their peers. They are, most of them are published. They are involved in education, exposure to poetry and some, like Ginny's focus has been on poetry readings in public spaces, and I don't know if she's going to say anything, but it enriches all of us and we're lucky that we have them and their talent and they share it with our community on important occasions and on every day, which is every day can be a very important occasion. So I'm going to read the proclamation and then Maria actually may say a couple words, and I don't know if any of you want to say anything. But, so, actually, Christine, you want to come up? Okay, thank you.

**WHEREAS**, the health and vitality of a community is reflected in the participation of its citizens in those activities that further the strength of the town; and

**WHEREAS**, Christine Beck, a resident of West Hartford and a respected writer and leader in the poetry community, is designated today, May 12<sup>th</sup>, Poet Laureate of the Town of West Hartford for the term June 2015 to May 2017; and

**WHEREAS**, Christine Beck will bring credit both to the Town of West Hartford and to the field of poetry by promoting poetry readings and workshops and by encouraging new poets,

**NOW THEREFORE BE IT PROCLAIMED** that on behalf of the town council and the residents of West Hartford, I, Mayor Scott Slifka, do hereby congratulate and extend our best wishes and sincere appreciation to Christine Beck on being named Poet Laureate of the Town of West Hartford.

Councilor Cantor: Congratulations.

Ms. Beck: Thank you so very much. I really appreciate that.

Councilor Cantor: Do you want to say a couple words? Do you want to say anything, Maria? Our first Poet Laureate may want to share a couple words.

Ms. Sassi: I just wanted to say that West Hartford, being the center of the universe we all feel that way about this special town, and it all began, you know, when I guess we felt that it should go on having a Poet Laureate every two years, and Shari, thank you. Where are you, darling?

Councilor Cantor: I'm here.

Ms. Sassi: Oh, Shari, she was wonderful. Wonderful. We are very—this town is very literate. We have a lot of people with published books and we've got some famous people here, and of course the most famous was Wallace Stevens, who wrote his best work right here in West Hartford. The great Wallace Stevens. So that's all I want to say, and the first, well, I continue, our Poet Laureates always continue propagating poetry in our wonderful town. I still do the poetry readings for the historical Webster House. I do two a year and to bring poetry out, and Dennis Barone, who isn't here now, he always did the Peter Brazo series right here in town. He was able to bring some famous poets for us to enjoy. Jim Finnegan does WordForge, so all our Poet Laureates go on, and Ginny Lowe Connors, she's doing poetry in the parks and will keep it up and that's wonderful. Christine Beck already does Poets on Poetry, and that's quite fascinating. It involves famous poetry. And who knows what else she's going to do, but thank you so much, thank you, darling, for poetry. It's here.

Councilor Cantor: Thank you, Maria.

Ms. Beck: I'm gonna keep this brief because I know you have a long evening ahead of you. I want to read a very short poem that is actually in a lovely collection that was assembled by Ginny Lowe Connors. It's called *Where Flowers Bloom*, and the poem that I wrote is about Elizabeth Park, so I think it's appropriate that you know that we're out there writing about our own town. It's called *Portrait with Roses*:

Posed in the gazebo for their photograph, my three daughters are almost eclipsed by roses in luscious shades of pink, red, yellow, their luxuriant unfurling petals wafting scents of innocence on the brink of the ecstatic.

Eleanor and Susan perch on a wooden bench. Eleanor, the eldest, hovers, ready to rein in the catawampus sprawl of Susan, a five-year-old who hasn't learned to close her legs. My little daughter, Claire, has wandered, sits off on the grass,

peers into tight petals of a bud as if she could foretell rapture or rejection from its folds.

I dressed them in flowered chintz, imagined they would complement the garden's bright explosion after months of darkness, steady rain, gray days which seemed required to make me grateful for a garden planted purely for delight.

My knowledge that by mid-July the flowers will have dried and fallen, the thorns hardened, turned brittle in their duty, held in denial for how could this cotillion end.

My daughters jostle, unaware their portrait will preside over our dining room for years to come, reminding me of roses in the spring, the girls captured in the sweet flush of their flowering.

So that's from *Where Flowers Bloom*, and I'd like to thank you for this honor. You can be assured that I am always brimming with projects. I have two or three that I'm thinking about right now, and I wanted to make a gift of my collection called *Blinding Light* to your town manager in recognition of his delight in poetry.

President Slifka: Congratulations on the appointment. Thank you to our former Poet Laureates, and we look forward to the new work and also your continuing work. It's really been a great gift to us. Thanks very much. And Ron, I think you have to check with Joe as to whether you can keep the book based on town regulations. Yeah, just kidding. And thank you, Mrs. Cantor, for the presentation and for your work on this. We will go to # 4, Approval of Minutes.

#### **ITEM #4: APPROVAL OF MINUTES**

Councilor Cantor: Now it gets much dryer, sorry. Approval of Minutes. I move that we approve Town Council Meeting minutes from 3-24-15, Town Council Meeting 4-20-15, Public Hearing re Ordinance Permitting the Sale of Alcohol at Golf Courses 3-24-15, Public Hearing re Budget Fiscal Year 2015-2016 on 3-26-15 with one abstention, Public Hearing re Budget Fiscal Year 2015-2016 on 4-1-15. I move that we approve, the, council, hmm? Councilwoman Kindall is just abstaining from 3-26-15 because she was not here.

Councilor Kindall: Second.

President Slifka: Motion is made and seconded. Any discussion? Seeing none, all those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. We're up to Public Forum.

#### **ITEM #5: PUBLIC FORUM**

President Slifka: Mr. O'Brien has given me the sign-up sheet. I see Mr. Stolba, I believe it is, has signed up. Mr. Stolba, I noticed that there's a section on the sign-up sheet that asks you to identify the item to which you wanted to speak, and there isn't one, so is there one you wanted to speak to, did you want to speak to an item on the agenda tonight? Or to something completely separate?

Mr. Stolba: Something concerning the whole town.

President Slifka: Okay, that, under the council rules, that's something we actually do in a separate meeting. We have a separate meeting that is just devoted to, to public comment. We, for this particular meeting under the rules, we can only address the items that are actually on this agenda, that's why we, we specify that. So I...

Mr. Stolba: She called and ask about it.

President Slifka: I'm not accusing anybody of misleading it, I'm just explaining what the council rules are, so I, we can suspend the rules if we'd like to allow Mr. Stolba to speak or we would have to do it separately. So is there a motion? Anybody want to move that?

Councilor Cantor: I'd like to make a motion to suspend the rules to allow...

President Slifka: ...Mr. Stolba to speak, okay. Is there a second?

Councilor Kindall: Second.

President Slifka: Second. All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. Okay, Mr. Stolba, you have three minutes. Please understand I have to go through this to make sure we're doing things procedurally right. And if I, we've identified your name, but if you could just do it again for the record and state your address too, sir.

Mr. Stolba: Good evening. My name is William Stolba, and my wife and I reside at 108 South Main Street, two blocks away from here. I come before the council tonight to bring up two concerns affecting the town residents. The first being the overnight parking policy on public streets in the town. I live directly across the street from four apartment buildings on South Main, namely the Northbrook at 97, Southwick in 105, the Asia at 109, and the Sedgwick at 115. These apartment buildings have been in town for probably over 50 years, back to a time when renters had one vehicle or none at all. Now, these apartments are rented to college students and there is lack of parking for all the vehicles in these, and this brings about a problem with overnight parking, especially on weekends. There's trash left on Meadowbrook Road where my driveway and my neighbor's driveway is left on the weekends, and there's many times that the police department is short-staffed and not able to properly ticket the individuals parked overnight, but there's also an omit policy that's also in the town about certain number of

occurrences that you can have for overnight parking, and these are being, these rules are being broken by these overnight parkers who will call in and say they're staying at one apartment one weekend and staying at the next apartment building the other weekend, and the town really doesn't have a good program as to keep track of their registrations and everything like that. We're left with garbage, broken bottles and cans on our property, and this has been going on for, oh, three or four years, and I've contacted the police department many times to no avail. They have helped sometimes, but I said that I would bring it to the town council and they didn't have any qualms about it, so that's why I'm here. The second thing I have is Eversource Energy, our former power company, Connecticut Light and Power, who you probably heard today on the news, probably one of the lowest satisfaction ratings of a utility in the United States. I work for Eversource Energy, been there 31 years. I'm also the Executive Board President of IBEW Local 420, which represents the Simsbury Building, and I'm sure you all know that the Simsbury Building is scheduled to be closed. Simsbury covers West Hartford, and the management at this company now is doing a lot of non-emergent work after hours at night in this town, which means the town ordinance has zoning that you can't work one hour after sunset. On Sundays you cannot work unless it's an emergency job. They are being very arrogant and ignorant about these rules and breaking them by working at night, disturbing the peace and noise restrictions, and I would ask that you could, the town council could get in touch with the town liaison from the company and ask them that this will not be tolerated any more. Thank you very much.

President Slifka: Thank you, Mr. Stolba, for bringing those to our attention, and I know the manager's been furiously scribbling notes, so we will, I think he'll do it on his own, but we will request that he follow up on both, and we will certainly follow up with the liaison.

Mr. Stolba: Thank you for your help.

President Slifka: Thank you. Is there anybody else who did not sign up on the sign-up sheet who wished to address an item on the agenda tonight? Okay, seeing none, back to Mr. Van Winkle for the Report from the Town Manager.

#### **ITEM #6: REPORTS OF TOWN MANAGER**

Mr. Van Winkle: Thank you Mr. Mayor. On Saturday, we had a coffee at the Faxon Library where we met many residents from the Elmwood area and in particular a lot of new Americans that joined us at the coffee. During that discussion, I learned that West Hartford has over 500 families from Nepal who now live in West Hartford, making West Hartford the largest Nepalese community in the state of Connecticut. I think it is fascinating that West Hartford is perhaps the most diverse community in the state of Connecticut. Over 18% of our residents were foreign-born, which is a very high number relative to 13% in the state of Connecticut. Foreign languages in our school, they used to be somewhere into the 60s, now I hear they're into the 70s. I can't name that many foreign languages. But just to go back to my original thought there, that the Nepalese community obviously is experiencing some very serious natural disasters, another earthquake today, and anyone who is looking to provide some assistance, those in West Hartford are working to raise money to assist Nepalese back home, you can reach those sources through our Faxon Library. If you call over there, they'll direct you to where you might be able to make a donation. Speaking of libraries, West Hartford's public libraries were once again selected as

the Best Library by Hartford Magazine, so it's the third year in a row that our libraries were identified. We don't need Hartford Magazine to tell us that our libraries are the best. We know all of that. On May 14<sup>th</sup>, Thursday, at 8:30 in the morning, we're going to be breaking ground for our new Charter Oak School, which is already in construction, but our ceremony will be that Thursday morning at 8:30 and anyone out there that would like to come and observe the groundbreaking and see some of the construction that's already begun out there, that's 8:30, Thursday the 14<sup>th</sup> on the Charter Oak International Academy. Please come. On the, on Saturday the 16<sup>th</sup> from 9 to 1 p.m., our Department of Public Works is having an open house. This is the fourth year they've done this. This says children can sit in big trucks, but Harry, you can sit in the big trucks too if you want. These are really, actually, they're very interesting. These aren't just trucks anymore. These are very sophisticated machinery that we purchase. Expensive and sophisticated, and so Public Works is doing an outreach to families, to adults, to kids that would like to see some of those operations. At the same time, Covanta Energy will be running a paper shredding event at the site and so you can bring down those papers and have them shredded down at Public Works. If you didn't know, this is National Public Works Week. We are starting the second round of yard waste pickup May 18<sup>th</sup> to the 22<sup>nd</sup>. The yard waste needs to go into those biodegradable bags or branches under four inches in width can be tied up in an organic string and left at the curbside for your collection day and we'll pick them up. Memorial Day is the 25<sup>th</sup>, and we will be picking up garbage one day late that week, so if your pickup was normally on Monday, it'll be Tuesday, and if it's on a Friday, it'll be on Saturday, so that whole week we will have a day later just to remind everybody of all those pieces. I would note that we are a healthy community; 26 members of our community ran in the Boston Marathon. I didn't make it, if you were wondering, nope, no, no. We're also experiencing, you know, this business of local government changes constantly, and we're experiencing some issues with recycling right now. The world economy has slowed down. Prices of the materials that we recycle have dropped substantially, and so we are, you know, perhaps looking at an outcome here that we may have to pay someone to take our recycling. Right now at our last month we got over nine dollars a ton for every ton of recycling that we sent to the recycling company that takes it from us, but increasingly, and in particular glass is becoming very difficult to recycle. Plastic, because petroleum prices dropped, became less interested in recycling, so as simple thing as how do we get rid of garbage, how do we get rid of recycling? That world is changing dramatically along with the economy. Other than that, that's really all I have. If there're any questions, I'd be glad to answer them.

President Slifka: Before we, I do that, open up to everybody, Mr. Van Winkle, just because you raised it right at the beginning and appropriately so, those of us that were at the event on Saturday at the Faxon Library and met with many members of the Nepalese community were given information about how to make donations to help Nepal, and they're calling it Open your Heart to Nepal. It's very, as it literally says on the sheet, donating is easy. You can do it online at [www.ct.nepali.org](http://www.ct.nepali.org), and they assured us it's very safe to do it, in fact it has a little PayPal icon next to it. You can also send your, a check to the Nepalese Association of Connecticut, which is at 868 Flatbush Avenue here in West Hartford, 06110, and make checks payable to NAC—it's NACConn, all one word, Conn as in the abbreviation for Connecticut, and strongly encourage our residents to support it how they can, and we were given this on Saturday and as you indicated today they had another earthquake, so I can only imagine how much more they're in need of it at this point. At this point, are there any questions for the manager? Mr. Captain?

Councilor Captain: Thank you, Mr. Mayor. I actually think it's amazing that the two of you brought up the same thing that I was going to bring up and save for Community Comment, Marcia Lewis putting on the coffee hour at Faxon is really great. Many of our councilor colleagues were there as well as the manager and the chief of police, and I too wanted to make a pitch for supporting Nepal, and maybe a little easier website is redcross.org/donate, and there's a drop-down for the Nepal Earthquake Relief Fund. Thank you.

President Slifka: Thank you, Mr. Captain. Anyone else? Okay. That. Thank you very much, we'll move on to Consideration of the Consent Calendar, Mrs. Cantor?

**ITEM #7: CONSIDERATION OF CONSENT CALENDAR – ITEMS 13, 14, 19-30 TO RECEIVE**

Councilor Cantor: I move that we place Items 12 through 14 and 19 through 30 on Consent.

Councilor Kindall: Second.

President Slifka: Motion is made and seconded. Any...? There'll be no discussion. All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. We're up to Unfinished Business, #8, Mrs. Cantor?

**UNFINISHED BUSINESS:**

**ITEM #8: APPLICATION ON BEHALF OF HEBREW LIFE CHOICES, INC., OWNER OF 160 SIMSBURY ROAD, TO AMEND SPECIAL DEVELOPMENT DISTRICT # 106 (SDD) TO ADD THIRTY (30) PARKING SPACES ON VILLAGE DRIVE, THE ROADWAY ALONG THE PERIMETER OF THE ASSISTED LIVING FACILITY KNOWN AS HOFFMAN SUMMERWOOD COMMUNITY (“SUMMERWOOD”)**

**APPROVED, VOTE 8-0**

Councilor Cantor: Number 8, Application on behalf of Hebrew Life Choices, Inc, owner of 160 Simsbury Road, to amend Special Development District #106 to add 30 parking spaces on Village Drive, the roadway along the perimeter of the assisted living facility known as Hoffman SummerWood Community. I move that we adopt.

Councilor Kindall: Second.

President Slifka: The motion is made and seconded. For discussion, I just, I thought I'd exercise my prerogative to go first simply because this was a fairly, I'll call it simple application. It's asking for 30 parking spaces at an existing, an existing facility, no changes to the building at all, but I'll note it is within a, you know, a wooded area. It's got a lot of wetlands issues, and quite

often sometimes those become more controversial than you otherwise might think based on the request, and I thought it was notable that, to compliment the applicant and particularly the engineer, that both of the bodies that reviewed this before we got it actually put compliments in their approvals relative to this work, and I think that needs to be noted. First, we had the TPZ in their recommendation said the commission complimented the applicant for a right-sized approach to designing the parking supply to meet the actual user needs for the facility, and the Design Review Advisory Commission said the DRAC finds the configuration of the proposed parking area along the outer perimeter of the existing site to be well-designed and positioned, utilizing the topography of the site. The existing driveway configuration and screening minimize any impact of the expanded parking area on the adjacent residential neighbors. So this is something quite simple that we might dispose of fairly quickly. I guess I'm indicating indirectly that I support this application, but I think we need to recognize good work also when it's done, that this was done in a very environmentally friendly way and in a way that was recognized by the two other bodies, so with that, I give my support, and Mr. Wise my compliments and please share those with Mr. Daly as well. Is there anybody else like to comment? Mr. Davidoff?

Councilor Davidoff: Thank you, Mr. Mayor, I would concur in your remarks. I, when I sit in on these type of hearings, always examine the record that's been previously submitted to the TPZ and DRAC, and this evening their comments were spot-on and my questioning of Mr. Daly just highlighted the areas of concern that they probably raised, and I've seen Mr. Daly appear before TPZ and this body many times and hold him in high regard as an expert on water and engineer issues with respect to drainage, and he rightfully pointed out the concerns that the abutter has with respect to water, but we would not be something that would be exacerbated by the construction of these 30 parking spaces, so that was all on the record and rightfully so, and he had a very simple solution for one of the concerns raised by one of our residents with respect to capping a pipe that was located in the wetland area, so kudos to Mr. Wise and his team on a presentation this evening, and it sort of makes our decision a lot simpler this evening when people retain competent professionals to present matters before us, so with that said, I'll be supporting the application as well.

President Slifka: Thank you Mr. Davidoff. Anyone else? Okay, Mr. O'Brien?

Mr. O'Brien: Mr. Mayor, there was a, I know, a condition that I think Mr. Davidoff discussed. We drafted up some language if you want to consider that condition, about snow storage?

President Slifka: I know that we'd been asked by TPZ to consider it, and I think Mr. Davidoff was trying to consider it, but I didn't know if he was going as far as suggesting we had to adopt it.

Mr. O'Brien: Yeah, I don't know, I just wanted to remind you of that.

Councilor Davidoff: Thank you, Mr. O'Brien. I think when I asked the applicant, I think that their answer was pretty clear that the way that they're going to plow is to go around the loop and they were not thinking of any way of, you know, bringing more snow to a particular region of the parcel than what's necessary, so I don't really think that, having sat on TPZ, that their plan was,

needed any type of particular restriction, but if my colleagues feel differently I'll definitely listen.

President Slifka: Thank you. Okay, anyone else? All right, seeing none, then roll call vote please, Ms. Labrot?

Councilors Barnes, Cantor, Captain, Davidoff, Hall, Kindall and Slifka voted YES. Alternate Renfro voted YES.

Ms. Labrot: It's unanimous.

President Slifka: Thank you, and thank you, Ms. Renfro, for joining us. They're never like this, so don't get used to it. Okay, we're up to 9, Mrs. Cantor?

**ITEM #9: RESOLUTION AUTHORIZING ACCEPTANCE OF PARKING LOT EASEMENT**

**ADOPTED, VOTE 7-0**

Councilor Cantor: Number 9, Resolution Authorizing Acceptance of Parking Lot Easement 980A Farmington Avenue. I move that we approve and also read in the record letter dated March 4, 2015, from TPZ recommending approval.

Councilor Kindall: Second.

President Slifka: Motion is made and seconded. Any discussion? Seeing none, all those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. Number 10 under New Business.

**NEW BUSINESS:**

**ITEM #10: APPLICATION ON BEHALF OF CONNECTICUT ASSOCIATION OF PUBLIC SCHOOL SUPERINTENDENTS (CAPSS) TO AMEND SPECIAL DEVELOPMENT DISTRICT (SDD) #93 AT 26 CAYA AVENUE TO DEMOLISH THE ENTRYWAY AND STAIRCASE, CONSTRUCT A TWO-STORY, 1,235 SQUARE FOOT ADDITION, DEMOLISH THE EXISTING DETACHED GARAGE, AND EXPAND THE PARKING LOT BY ADDING FOUR (4) SPACES**

(See Attachment A)

**SET FOR PUBLIC HEARING ON JUNE 23, 2015, AT 7:00 P.M.; REFERRED TO TPZ, DRAC AND CRCOG.**

Councilor Cantor: Application on behalf of Connecticut Association of Public School Superintendents (CAPSS) to amend Special Development District 93 at 28 Caya Avenue to demolish the entryway and staircase, construct two-story, 1,235-square-foot addition, demolish the existing detached garage, and expand the parking lot by adding four spaces. I move that we set for Public Hearing on June 23<sup>rd</sup> at 7 p.m. and refer to TPZ, DRAC, and CRCOG.

Councilor Kindall: Second with a correction that it's 26 Caya Avenue, not 28.

President Slifka: Okay. Any discussion? Seeing none, all those in favor?

All : Aye.

President Slifka: Those opposed? Motion carries. Number 11, Mrs. Cantor.

**ITEM #11: RESOLUTION AUTHORIZING SUBMISSION OF THE NEIGHBORHOOD ASSISTANCE GRANT APPLICATION.**

**SET FOR PUBLIC HEARING ON MAY 26, 2015, AT 7:25 P.M.**

**WHEREAS**, the State of Connecticut, Department of Revenue Services, provides tax credits to businesses making donations to programs sponsored by non-profit agencies through the Neighborhood Assistance Act; and

**WHEREAS**, the Town Council wishes to nominate certain programs for eligibility and consideration but, in order for a community program to qualify for the Neighborhood Assistance Act, it must first be approved by the Town Council; and

**WHEREAS**, the Act requires the Town Council to submit a list of approved programs eligible for business investments to the State of Connecticut, Department of Revenue Services by July 1, 2015; and

**WHEREAS**, before the Town submits such a list, it is first required to conduct a public hearing for the purpose of hearing eligible proposals for the Neighborhood Assistance Act;

**NOW, THEREFORE, BE IT RESOLVED BY THE WEST HARTFORD TOWN COUNCIL** that the Town Manager is hereby authorized to submit the Neighborhood Assistance Act Grant Application; and

**BE IT THEREFORE RESOLVED** that the Town Manager is directed to publicize the availability of this program and solicit proposals from community groups prior to this hearing.

Councilor Cantor: Number 11, Resolution Authorizing Submission of the Neighborhood Assistant Grant Application. I move that we set for Public Hearing on May 26, 2015, at 7:25.

Councilor Kindall: Second.

President Slifka: Whoops, I'm doing it now too. Motion is made and seconded. Any discussion? Seeing none, all those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. Number 12, Mrs. Cantor.

**ITEM #12: RESOLUTION AUTHORIZING EXECUTION OF INFRASTRUCTURE IMPROVEMENT EASEMENT.**

**REFERRED TO TPZ**

**WHEREAS**, each year the Town of West Hartford undertakes routine projects to repair and maintain streets and other infrastructure; and

**WHEREAS**, such projects require, from time to time, easements to increase or alter the location of the Town's street rights of way or other infrastructure easements

**NOW THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF WEST HARTFORD THAT** the attached easement is accepted on behalf of the Town of West Hartford; and

**BE IT FURTHER RESOLVED THAT** the Town Manager is hereby authorized to execute said easement and any other ancillary documents which may be necessary to effectuate the same

**(See Attachment B for easement referenced in Resolution)**

Councilor Cantor: Resolution Authorizing Execution of Infrastructure Improvement Easement. I move that we refer to TPZ.

Councilor Davidoff: Point of information.

President Slifka: It was an accident. We...

Councilor Davidoff: Oh, okay.

President Slifka: ...misabeled it at the beginning, so we'll consider this pulling it off the Consent Calendar, which can be done by any member at any time prior to adoption, so.

Councilor Davidoff: Thank you.

President Slifka: But thank you for pointing it out.

Councilor Kindall: Second.

President Slifka: Okay, motion is made and seconded. Again, it's on referral to TPZ. All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. So 13 and 14 are on Consent, so we are up to Announcements.

### **ITEM #15: ANNOUNCEMENTS**

President Slifka: And as Mr. Van Winkle indicated in his report, Memorial Day is right around the corner, and we have our annual weekend full of activities, and I'm gonna start by turning it over to Mrs. Hall for some details on the very first event that traditionally kicks it off. Sorry. What are we looking at? That was on Consent. Twelve—13 and 14.

Councilor Hall: Okay.

President Slifka: Sorry for the confusion. You still want to talk?

Councilor Hall: Yes.

President Slifka: Okay.

Councilor Hall: Thank you very much. Yes, we are not far from Memorial Day and as is our tradition, we will be gathering at Fairview Cemetery at 9 a.m. on Saturday, May 23<sup>rd</sup>, so the Saturday before Memorial Day, to place flags on the graves of all of our veterans that are buried there, and then once we finish decorating all the graves we will go across the street and there will be a short program with the mayor, myself and Captain Dawn Morris as speakers and we will also be following that up with pizza and ice cream, so it is really one of the nicest ways to start out the Memorial Day weekend, giving everyone a chance to really pay tribute to our veterans, so everybody's welcome and we appreciate all the help that we get to decorate the flags, so thank you.

President Slifka: And if it wasn't clear, if you want to help decorate the flags, I see a lot of students out there tonight, please contact Mrs. Hall. You can either see her after the meeting or contact her at [denisebhall@comcast.net](mailto:denisebhall@comcast.net)

Councilor Hall: Correct. Thank you. Or just show up.

President Slifka: Or just show up. Yeah, we're not...no one's gonna turn you away.

Councilor Hall: Just show up. Fairview Cemetery.

President Slifka: And Mrs. Hall is being very modest in summarizing her and her family's contribution to this for so many years, and we thank you for continuing it. It really is a wonderful program, and I hope people will come out, notwithstanding the other activities that

might make your weekend very busy. And then related to that, the Memorial Day Parade will be on Monday. Mrs. Hall's described the event on Saturday morning. If you want to sign up, you can still sign up to participate in the parade, which is organized by the West Hartford Veteran's Commission, and if you want your group to be in the parade, please email [whmemorialdayparade](mailto:whmemorialdayparade), that is all one word, [whmemorialdayparade@yahoo.com](mailto:whmemorialdayparade@yahoo.com), and as most know, but we'll just say again, the parade begins at 10 a.m. and it goes for about one hour and then there'll be a short program over at the Veteran's Memorial. Moving on to equally important but slightly less patriotic events, we have a bike drive that's sponsored by three Hall High School students, Sam Dobbins, Jason Gilbert, and Sam Katten. It's gonna take place May 14<sup>th</sup> through May 16<sup>th</sup>. This is at the Community Renewal Team's McKinney Shelter in Hartford, but you can drop the bikes off actually at the main parking lot of Hall High, which is at 975 North Main Street, on those three days. One of those times, I think to encourage student participation, is during the Hall Spring Fling. Then we have, let's see, Westmoor Park's Farm Day is this Saturday, May 16<sup>th</sup>, from 11 a.m. to 3 p.m. This is a family-friendly event. I've been there many times myself. You can come and watch sheep shearing, animal demonstrations, see baby pigs and chicks. You can even make your own butter and join in the fun of farm games and hay jumping. T-shirts are available for sale, but because the parking is limited and we like to be ecologically sensible, please carpool with friends if you can. For those who don't know, Westmoor Park is at 110 Flag Road. The Playhouse on Park will be presenting a musical geared toward young audiences with a message that rings true for all ages. It's called *Freckleface Strawberry*. It's gonna run from May 16<sup>th</sup> through 24, and this is based on the beloved New York Times bestselling book which is written by actress Julianne Moore, who, one of her starring roles was about a family that lived in West Hartford, if you did not know that. I found that interesting. This is a production that teaches how to appreciate others for their differences, and tickets can be purchased at the box office or by calling 523-5900, extension 10. Kids can have triple the fun with a swim, bike, and run at the 8<sup>th</sup> Annual Kids Triathlon Challenge Sunday, May 31<sup>st</sup>, at 3 p.m. at the Mandell JCC on Bloomfield Avenue. The registration closes on May 27<sup>th</sup>, and if you're interested in participating, please call 236-4571. This will take place rain or shine. Hard to believe Celebrate West Hartford is also around the corner, and we have online registration is now open for the road race which takes place on Sunday, June 7<sup>th</sup>, so if you're not quite the marathoner as one of the 26 fine people from West Hartford that Mr. O— Van Winkle mentioned, I think you can make it in this very fun and competitive 5K race. There's also the half-mile kids' fun run, similar course to most years, it starts over by Whole Foods on Raymond Road, goes through the Webb Hill neighborhood and ends up back on West Hartford Center by South Main Street. Begins at 8:30 a.m. The kids' run begins at 8:30 a.m. It's for kids 10 and under, and the 5K begins at 9:30. Again, you can register online at [celebratewesthartford.com](http://celebratewesthartford.com). That's pretty easy. That concludes the announcements I had, and are there any others? Mrs. Cantor?

Councilor Cantor: Let's see, we have, continuing on Celebrate, there is a Bike Walk Connecticut is sponsoring a tour, it's called the Discover Connecticut Bicycle Tours 2015, and it's actually a historical tour showcasing best of West Hartford including beautiful parks, diverse neighborhoods, local businesses, cultural and scenic highlights. They start at Kingswood Oxford School, 8:30 a.m. is the 50 mile, 10 a.m. is the 25 mile, and 11 a.m. is the 10 mile. Again, this is on Saturday, June 6<sup>th</sup>. And then on, I think it's, this is...actually this Saturday, I mean, not this Saturday, Saturday May 30<sup>th</sup>, Jim Calhoun is doing his ride/walk for lifesaving research and care.

It's now starting at a new place. It's going to be at Northwest Catholic High School. It used to be in Simsbury, so that is something that people may want to do. Again, it's a staggered ride for various distances, and then our own—on June 20<sup>th</sup>, our own West Hartford Rotary does Claws for a Cause. I have tickets right here, council members, and it, the rotary—West Hartford Rotary—does things like the dictionary project for third graders in town, a rotary writing project for sixth graders, transportation, they supported a senior transportation program, and they often do donations to the Town that Cares, and it's a fun event with entertainment. The tickets, if you buy them before June 1<sup>st</sup>, are five dollars off per ticket. It's lobster for \$50, steak for \$50, children's hot dog or hamburger are \$10, so hope you can join us. And that's at American School for the Deaf.

President Slifka: Thank you, Mrs. Cantor. Anyone else? We covered just about everything. Oh! No we have not. Mr. Davidoff?

Councilor Davidoff: Sorry. This Friday morning, right here in the council chambers, it's the West Hartford Annual Citizen and Police Officer Awards Presentation. If you've never been to it, it's an amazing morning to hear how regular citizens in the town of West Hartford assist our police and public safety personnel in capturing those who do things that they ought not be doing, and you also hear heroic tales of people who've basically done really good deeds to help others in our community, so it's 8 o'clock, I know it's early, but it has a special meaning to my, to myself because my dad once received one of those citizen awards, and it really is something to come out and meet the other members of our community who do such good things in conjunction with our police department.

President Slifka: Thank you, Mr. Davidoff. Okay. With that, we will move to Report from Corporation Counsel. Note, Ms. Casperson arrived somewhere as we were doing the announcements, so welcome. Joe, anything to report tonight?

#### **ITEM #16: REPORTS OF CORPORATION COUNSEL.**

Mr. O'Brien: No, nothing to report formally. We don't need executive session, and I'll be happy to answer any questions.

President Slifka: Thank you. Are there any questions for Mr. O'Brien tonight? Okay, seeing none, we move to Appointments and I know we have some from both sides of the aisle this evening.

#### **ITEM #17: APPOINTMENTS**

President Slifka: Begin with Mrs. Hall, as Mrs. Cantor looks... Go ahead.

Councilor Hall: Thank you. I'd like to make a motion to appoint Michael Margolis to the Historic District Commission with a term ending December 31<sup>st</sup>, 2019, and Amber Kocay as an Alternate for the Board of Assessment Appeals with a term ending December 31<sup>st</sup>, 2017, and Mrs. Cantor?

Councilor Cantor: And I would, Krishna P. Adhikari to the Human Right Commission for a term ending 12/31/17 and Josh Cantor to Parks and Rec Advisory Board with a term ending 12/31/17.

President Slifka: Do I have a second?

Councilor Kindall: Second.

President Slifka: Okay, motion is made and seconded. Somebody can make the appropriate joke about Mr., Mrs. Cantor's son being, with some reservation about it, you'll tell him. I do want to say in all seriousness, though we don't normally talk about the people being appointed, but I think it's particularly significant, especially in light of the discussion we've had a bit about Nepal today, that Mr. Adhikari is being appointed to the Human Rights Commission. He is, to our knowledge, the first member of the Nepalese community to be appointed to a board or commission in West Hartford. The timing is completely coincidental as this had been in the works for some time, and we did all have the pleasure, those who were able to be there on Saturday, had the pleasure of spending some time with him and see that he's very eager to contribute, and I think we're particularly thrilled that Marcia Lewis's work is panning out in that we've had the hope that those events that welcome new people to the community will yield that those folks feel comfortable enough to put their name in for these boards and commissions. You think about that, it's awfully intimidating if you've just arrived in this country, not been here very long, perhaps you feel like you haven't mastered the language, to put your hand up and say I would like to be on a board or a commission, but it's yielding results, and we're thrilled to have Mr. Adhikari aboard. With that, the motion, all those in favor? Sorry.

All: Aye.

President Slifka: Those opposed? Motion carries. So no need for Executive Session, and we now move to the Consent Calendar.

**ITEM #31: CONSENT CALENDAR**

**ADOPTED**

**ITEM #13: RESOLUTION AUTHORIZING YEAR-END BUDGETARY TRANSFERS**

**WHEREAS**, the Code of the Town of West Hartford Chapter VII Section 7 provides that upon request of the Town Manager, but only within the last three months of the fiscal year, the Town Council may by resolution transfer any unencumbered appropriation, balance or portion thereof from one department, commission, board or office to another, and

**WHEREAS**, to allow the orderly balancing and closing of budgetary accounts for the fiscal year ending June 30, 2015, the Town Manager hereby makes this request to the Town Council,

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF WEST HARTFORD**, that the Director of Financial Services is hereby authorized to certify

such transfers as may be necessary but not to exceed the total adopted and amended fiscal year 2014-2015 appropriations, and

**BE IT FURTHER RESOLVED**, that the Town Manager or his designee is hereby authorized to approve such transfers, and

**BE IT FURTHER RESOLVED**, that no transfer shall be made from any appropriation for debt service or other statutory charges for such balancing and closing purposes.

**ITEM #14: RESOLUTION TO APPROPRIATE GRANT FUNDS OF \$34,725 AWARDED TO THE TOWN OF WEST HARTFORD UNDER THE FEDERAL HIGHWAY SAFETY PROGRAM FOR THE PURPOSE OF DISTRACTED DRIVING HIGH VISIBILITY ENFORCEMENT**

**WHEREAS**, the Town of West Hartford applied for and was awarded Federal Funds under the Federal Highway Safety Program (Federal Aid Project 2015-405e-2, State Project 0195-0745-2-BB) in the amount of \$34,725 to provide Distracted Driving High Visibility Enforcement from April 1, 2015 through September 30, 2015, and

**WHEREAS**, the goal of this program is to reduce fatalities and injuries resulting from crashes caused by driver distraction, especially those caused by hand held mobile phone use, and

**WHEREAS**, this goal can be reached through increasing enforcement, especially high visibility enforcement of Connecticut's hand held mobile phone ban for drivers in areas identified to have high rates of fatal and injury crashes, and

**WHEREAS**, these grant funds are to be used for extra enforcement activities in accordance with both Federal and State regulations, policies, and procedures that govern the use of highway safety funds,

**NOW, THEREFORE, BE THAT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF WEST HARTFORD** as grant funds under the Federal Highway Safety Program are received, they will be appropriated for the purpose of expanded Distracted Driving enforcement activities in accordance with the terms of the grant, and the General Fund budget will be amended as follows:

Increase Estimated Revenue

01-220402-20101-9070	Federal Grant Revenue	As received
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Increase Appropriations

01-220402-20101-1010	Overtime	As received
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**ITEM #19: FROM TOWN PLAN AND ZONING – RE: 160 SIMSBURY ROAD – TABLED TO MAY 4, 2015**

**ITEM #20: FROM TOWN PLAN AND ZONING – RE: 160 SIMSBURY ROAD – RECOMMENDING APPROVAL**

**ITEM #21: FROM CAPITOL REGION COUNCIL OF GOVERNMENTS (CRCOG) – RE: 160 SIMSBURY ROAD – FINDING NO APPARENT CONFLICT**

**ITEM #22: FROM TOWN PLAN AND ZONING RECENT PLANNING ACTIONS: RE: 975 NORTH MAIN STREET, 110 BEECHWOOD ROAD**

**ITEM #23: FROM INLAND WETLAND AND WATERCOURSES AGENCY RECENT PLANNING ACTIONS – RE: 160 SIMSBURY ROAD**

**ITEM #24: MINUTES FROM ADMINISTRATION AND TECHNOLOGY COMMITTEE 3-23-15**

**ITEM #25: MINUTES FROM COMMUNITY PLANNING AND PHYSICAL SERVICES COMMITTEE 3-16-15 AND 3-31-15**

**ITEM #26: MINUTES FROM FINANCE AND BUDGET COMMITTEE 2-25-15, 3-16-15, 3-23-15, 3-30-15 AND 4-8-15**

**ITEM #27: MINUTES FROM HUMAN SERVICES COMMITTEE 3-30-15**

**ITEM #28: MINUTES FROM PUBLIC SAFETY COMMITTEE 4-2-15**

**ITEM #29: MINUTES FROM WEST HARTFORD CENTER SPECIAL SERVICES DISTRICT – PUBLIC HEARING RE PROPOSED 2015-2016 FISCAL YEAR BUDGET 3-24-15**

**ITEM #30: MINUTES FROM WEST HARTFORD CENTER SPECIAL SERVICES DISTRICT – 4-20-15**

Councilor Cantor: I move that we adopt as revised.

Councilor Kindall: Second.

President Slifka: Motion is made and seconded. All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. Okay, we now have to communications, and Mr. Dumais, I believe your input's going to be needed for all these, so if we could ask you to come on up while Mrs. Cantor reads the first one.

**COMMUNICATIONS:**

**ITEM #32: NOTICE OF TOWN PLANNER'S INTENTION TO APPROVE PURSUANT TO SECTION 177-44C (9)(C) AND (F) A REQUEST ON BEHALF OF SARJAC PARTNERS, LLC, SEEKING APPROVAL FOR A REVISION TO SPECIAL DEVELOPMENT DISTRICT PLAN #28 LOCATED AT 7 NORTH MAIN STREET. THE REQUEST IS FOR MINOR MODIFICATIONS TO SITE SIGNAGE AND REQUIRED PARKING**

(See Attachment C)

**RECEIVED**

Councilor Cantor: Notice of Town Planner's intention to approve pursuant to Section 177-44C (9)(c) and (f) a request on behalf of Sarjac Partners, LLC, seeking approval for a revision to Special Development District—bless you—plan #28 located at 7 North Main Street. The request is for minor modifications to site signage and required parking. Move that we receive.

Councilor Kindall: Second.

President Slifka: The motion is made and seconded. Mr. Dumais, before you get into the specifics, maybe it would be helpful, since there's a series of these going forward, if you could just explain the statutory basis for this, why you're, you know, why you're here, what the council can and can't do with this, et cetera.

Mr. Dumais: Sure, thank you, Mr. Mayor. I'm here because any Special Development District application, when approved, any change to that application requires some form of amendment. Our ordinance specifies an administrative level amendment through the Town Planner, and it specifies specific plan elements that can be reviewed and certain amounts for each type of element. Some of the ones that we'll hear tonight are signage, parking, landscaping, minor architectural changes, and there're some other more unique ones. So within each of those standards, our ordinance specifies what type of adjustments are, adjustments are permissible under the administrative amendment process. As a requirement of that review, I have to determine that the amendment is still in keeping with the overall intent in approval of the original SDD and point out that the council has the right to reject the approval and direct the modifications be set for a full Public Hearing that the original SDD amendment would've had to have gone through.

President Slifka: And the act, and please correct me if I'm wrong, but the act of rejecting it, so to speak, is by our, if we voted to not receive the communication that you sent us.

Mr. Dumais: Correct.

President Slifka: Okay. Well then if there's no other questions for Todd on that, then I guess we'll just have him get into the substance of the first of the items.

Mr. Dumais: The first item is for 7 North Main Street. Most recently this was a Special Development District approval for the LOL Club, which was not successful in that location. As

part of that approval, the signage, which was never constructed, required an administrative amendment approval. That signage, which was never constructed, was still approved. So new tenants moving into the space are requesting approval to erect signage on the existing ground-mounted brick monument sign that's been out in front of the property for many years and also to put a sign up on the main pediment of the building. I've taken this to Design Review Committee. There haven't been any issues noted. The signage is well within the authority, well within the zoning regulations for size and location. The lighting will be utilized, the existing ground uplighting on that monument's side. The other change is for parking. The original approval for the LOL Club required more parking than does the new uses that are going in. So as part of that amendment, there was a specific agreement that I'll defer to Mr. Alair on if you have any questions, but part of the amendment is to change an adjustment to that parking, since less parking is required under these new uses, a slight tweaking of the original approval was required. And those are the two amendments, signage and adjustment to parking.

President Slifka: Are there any questions for Mr. Dumais on this item or any discussion? Okay, seeing none, then the vote is on to receive and if we receive then these are approved without public hearing being necessary. All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. So we move to #33, Mrs. Cantor.

**ITEM #33: NOTICE OF TOWN PLANNER'S INTENTION TO APPROVE PURSUANT TO SECTION 177-44C (9)(B) AND (C) A REQUEST ON BEHALF OF SOF-IX BLUEBACK SQUARE HOLDINGS, SEEKING APPROVAL FOR A REVISION TO SPECIAL DEVELOPMENT DISTRICT PLAN #113 LOCATED AT 65 MEMORIAL ROAD. THE REQUEST IS FOR MINOR MODIFICATIONS TO THE APPROVED PARKING, THE CREATION A NEW ON-STREET LOADING AREA AND FOR MINOR MODIFICATIONS TO THE LANDSCAPING AND LANDSCAPE AMENITIES**

(See Attachment D)

**RECEIVED**

Councilor Cantor: Notice of Town Planner's intention to approve pursuant to Section 177-44C (9)(b) and (c) a request on behalf of SOF-IX: Blueback Square Holdings, seeking approval for a revision to Special Development District plan #113 located at 65 Memorial Road. The request is for minor modifications to the approved parking, the creation of a new on-street loading area and for minor modifications to the landscaping and landscaping amenities. I move that we receive.

Councilor Kindall: Second.

President Slifka: Okay, motion is made and seconded and note, Mr. Dumais has passed out a summary memo just now from his office which goes with the rest of the packet we have. Mr. Dumais, go ahead.

Mr. Dumais: Thank you, Mr. Mayor. This request, if you look at the applicant's submitted materials, may look a lot more complex than in fact it is. What you see in the application material submitted by the applicant was architectural renderings of the proposed facades for the new West Elm store, that's the new tenant that would be taking over the Anne Taylor space, the Akua Ba Fitness and part of the back space currently unoccupied and occupied by Blow, A Hair Dry Salon. Those changes to the façade are not subject to administrative amendment. They fall within the approved Special Development District design guidelines for changes to tenant facades. Signage is something that's handled all together and it has to comply with the approved signage, and that's not being requested. I would like to point out that that vertical sign on the column is not something that will be approved. We had indicated to the applicant that it's not something that can be installed or approved, so those aren't part of this, but you did receive that material as part of your mailing. What you are being, what I was asked to approve was a change to the approved parking for the overall Special Development District and to the landscaping. The request is really two-fold. One is the new tenant in Blue Back Square is asking to reserve two parking spaces in the Memorial Garage. On the little summary that I passed out, the image to the right highlights the two requested customer pickup reserve spaces for West Elm. The other area of change is a proposed on-street loading area that would be striped in the location that I indicate in my image on the left there. That would be signed short-term, 15-minute loading area. There's no decrease in overall supply of required parking spaces. As part of that on-street loading area striping, the existing median island, if you flip to page two there's a much better picture that I took with an area highlighted. That existing center median would have to be shaved back 25 feet to allow vehicles to flow through there if you had a loading or a parking space—it's not a parking space, but if you had a vehicle parked there, that has to be pulled back to provide for adequate passage to and around that location. Because there is site lighting and required landscaping in that island, that necessitates a change to the approved landscaping since all of those elements were approved as part of the overall Blue Back Square approval. So the plan would be to locate those multi-stem birch, the ground juniper, and some reed grass to the other island just immediately to the south where there is room, so all of the landscape materials would be retained, moved about 30 feet to the south. That existing three-headed light mast would be moved to the relative position to the new shortened island, and the existing signage that indicates parking garage would also be moved. The striped area that would remain as a kind of an on-street loading area for short-term loading would be very similar to that which is currently on Raymond Road now. We have an area that functions just like this right by the REI. You'll notice there's a small area there, and if we go back to page one, the curb-to-curb distance, if you were to eliminate the median, is the same as across the street on Isham Road, where we have two sides of on-street parking and a travel lane, so we're talking about the same width of road. There we have two full on-street parking lines, parallel, and two travel lanes. So what we're talking about here is restricting approximately a 20-foot area, striping it for short-term loading, pulling back the median island. This was reviewed with our town engineer and our public works director to make sure there weren't any safety concerns for vehicle operations because anyone that uses that area knows there is a bottleneck and a pinch point getting in and out of the garage, so we didn't want to impede operation or traffic flow in and out of that area. So the request really is for the parking modification and the landscape changes as a result to accommodate the parking.

President Slifka: Mrs. Hall, go ahead.

Councilor Hall: Is the motivation for the change due to shopping and big items or, I'm just wondering what prompted this?

Mr. Dumais: As it was explained to us, the motivation is tenant-driven by the new tenant. They feel the need to have designated spaces for their shoppers to be able to carry in and out merchandise when they pick certain things up from the store. What we wouldn't be seeing is delivery of large furniture from any of these locations. That's typically handled through mail-order process or home delivery. These are smaller items that would be picked up in-store and the intent was, the new tenant really felt the need to have these spaces to make the space work for them.

President Slifka: Mrs. Kindall?

Councilor Kindall: How many trees are moved or being—are lost? What's happening with the trees?

Mr. Dumais: Sure. Zero. There's three trees being moved. There's, well, actually multi-stem birch trees being moved. None are being lost. All of the ground cover which is a mix of juniper and reeds—reed grass—is also being proposed to be moved, so there'd be zero elimination of any landscape material.

Councilor Kindall: From the picture that we were provided with the...the picture with the signage on the column, there is a tree right at the corner. There's two trees at the corner, one on either side. Do those trees remain? There's two big trees there and then there's some trees on the side.

Mr. Dumais: So there...

Councilor Kindall: Or do those trees go?

Mr. Dumais: Nope. Part of our review of this was to ensure that there were no changes on the curb or the sidewalk side of this, so there're no changes being proposed to the existing street trees on the sidewalk, so those areas you indicated there are no changes being proposed.

Councilor Kindall: But by putting, taking, putting this loading area through, we're, the nar, the sidewalk there's going to be narrower, correct? Because we're gonna be moving that to have in order to, where people would've walked.

Mr. Dumais: No. There is no change to the curb line. So the existing curb, the curb dimension, can accommodate a striping for an on-street loading without actually having to modify the curb or the sidewalk, so there'll be no reduction in sidewalk width, no change to the curb line, no change anything curb line to building. We're only talking about a change to the center median island by shaving that back 25 feet. I would point out, Mr. Mayor, that there is a significant amount of plan material that the applicant submitted, and part of that was my request. If you go back and you look at the overall Blue Back Square approvals, I counted at least six sheets in which this area appeared on the original approvals that would have to be modified to accommodate this, so that's why you see so many plans of, for a relatively small change, but it

appears on various sheets throughout the original landscaping plan, lighting plan, and overall site layout plan, so.

President Slifka: Mrs. Kindall, go ahead.

Councilor Kindall: So part of the application packages we received has a couple of retail stores now being used as storage space. Is that part of this approval? Or where does that get sorted out?

Mr. Dumais: It could've been part of this request. What happened was the original Blue Back Square approval designated all of the ground-floor retail areas as retail or restaurant, for the most part, with the exception of few of the either residential or office lobby areas. There's a separate set of approvals that also identifies all of the ground-floor retail areas that have active uses, and they're described in various ways, but they either have active entrances to or from the sidewalk or to have active window displays. So because of the unique configuration of available space within the tenant mix, this area is technically part of the retail store immediately across this little entrance driveway. It will have an entrance in and out of it, and it will be fully lined with active window displays, so it won't be a dead space that doesn't have any active use. It has an active use as required and described in the original SDD approval.

Councilor Kindall: So we are, we're taking that the fact that those two spaces now will be storage rather than active retail because it will have a door and it will have a window display as complying with the terms of Blue Back? Is that the interpretation?

Mr. Dumais: That's the interpretation, yes.

Councilor Kindall: Okay.

Mr. Dumais: One of the spaces hasn't been rented almost, you know the one space always has had a difficulty of being rented. If, you know, to look at it, if this was part of a more available space, we wouldn't even, if it was directly connected, we wouldn't even really be flagging this as an issue. But as an accessory to this retail use, that's why we wanted to make you aware of it and make sure that everyone was aware of its unique nature, because we haven't seen something like that before in Blue Back Square.

Councilor Kindall: And I'm not necessarily disagreeing, Mr. Dumais, I'm just trying to understand, so no one will, no one needs to take a look at it because of the interpretation, is what we're saying.

Mr. Dumais: Correct.

Councilor Kindall: Okay, thank you.

President Slifka: Mr. Captain?

Councilor Captain: Thank you, Mr. Mayor. Mr. Dumais, the paths or the walkways that are being illustrated sort of from the tenant space going around the circle or the entry to the lobby of the condominium building and over to the loading dock trash room, does that function that way today? Or is this gonna be new traffic moving in that area for garbage?

Mr. Dumais: That's a good question, Mr. Captain. It does function principally that way today. Obviously, you'll have new doors and entrances where they don't exist today, but the existing loading and trash area for all of the tenant space is that area that's indicated as the destination point on the back side, most close to Town Hall. So that maneuver is happening today, although we have different tenant mixes, so there's different usage of that pattern.

Councilor Captain: And are there any restrictions on the tenants as to when, when they can dispose of their garbage and...?

Mr. Dumais: I don't know an answer to that. I don't know if Blue Back has a restriction.

Councilor Captain: And does the condominium complex have any say or input as to this taking place sort of outside a pickup/drop-off area in front of their lobby?

Mr. Dumais: I have been approached by at least three different owners of, within the condominium complex asking to review the plans because they received notice and saw the signs. They didn't present any, other than questions, they didn't present any issues with it once I explained to them what it was. This loading area that we're talking about is not intended to be large vehicles. It's really only passenger vehicles for customer pickup. It's not intended to function as an actual large truck loading/unloading space, because that would be problematic for that area.

Councilor Captain: Yeah, I'm less worried about pickup and drop off of merchandise and I'm more worried about garbage rolling across someone's front door on their way in and out of work or during the day or if it's something limited to evening or...

Mr. Dumais: It happens today. If you walk out there at various hours, you'll see different things being loaded, wheeled and unloaded through that little corridor in the back, but I don't know if there's time restrictions on it.

President Slifka: Mrs. Casperson?

Councilor Casperson: Thank you, Mr. Mayor. I'm wondering about the loading in front of the store on Memorial Drive. The traffic situation there can be considerably congested at present. What do you think the impact is going to be, you know, during peak hours and how, you know, I just, I would be concerned for any traffic going through that area.

Mr. Dumais: It, Mrs. Casperson, it's a valid concern and it's one that we had. Given the dimensional space that we're talking about, it can only accommodate one vehicle, so at any time, you'd only have one vehicle in there. With the modification to the center island, vehicular traffic will be able to get in and around that, but the queues do at times, depending on issues with gates into the garage, it can obviously queue all the way back up and through that intersection, so it

wouldn't function any differently than today. There'd be one extra vehicle that could be potentially parked there, trying to make its way into the queue.

President Slifka: Thank you, Mrs. Casperson. Any other question for Mr. Dumais? Okay, is there any discussion on the item? Oh, well then please say it.

Councilor Hall: I just want to point out, you know, it's a, our job to try to make sure that we can provide opportunities for businesses to thrive in West Hartford, and this does seem like it's a good solution. I know if you go to Crate and Barrel, they've got their little place where you could pull in so if you buy heavy items they can, you can pull up and they can load it right into your car, so I assume West Elm is thinking that they need something like that too. As long as it's not creating any type of a hazard, it seems like a very good solution to bring a great company to West Hartford, so. Thank you for your work on this.

President Slifka: Thank you Mrs. Hall. Anyone else? Mr. Davidoff, go ahead.

Councilor Davidoff: Thank you and thank you, Minority Leader Hall, for pointing out something. If one basically examines the current use of that section of Blue Back Square, one will say that it's probably underutilized as a retail space, and the success rate in that corner has not been what it was originally envisioned to be, where the entire center was going to be well, a quite active zone, and that zone has proven not to be with respect to any of the tenants that have located there, and I think the record says that one of the tenants there is looking to relocate as well, so it's great to see that the management of the property is cognizant of this issue and willing to take the steps necessary to address the concerns and being mindful of the fact that you don't want to deter other retailers from being attracted to Blue Back Square and that this particular solution that's being proposed this evening is limited to this particular retailer in time and not something that we'd want to see throughout the district, in terms of other retailers who may locate in Blue Back Square, for us carving out other loading dock, loading area scenarios, so I think that's important to get on the record, should we need to examine it, and I think if my memory serves me correctly from the Blue Back hearings, I don't think there's any restrictions with respect to the hauling of the trash in that particular time. I do know that we did have a concern further down New Street, I think there's a huge trash receiving location and it was to make certain that that never took place during regular retail hours to interfere with vehicular traffic in the district because of the narrow roadways, and I think it's really functioned well, so I'm certain that the management company has been quite cognizant of the fact that they don't want to do any harm that would hurt the retail tenants or the restaurants as well, so. Just thought those points would be important to get on the record this evening. Thank you.

President Slifka: Thank you, Mr. Davidoff. Mrs. Kindall?

Councilor Kindall: I just want to thank Mr. Dumais for presenting it. Most of these administrative notice ones are pretty straightforward. It's a sign here, it's a plant there, it's a, you know, it's, but this batch in particular, this Blue Back Square one, struck me as much more complicated and really sort of what I would consider to be on the edge as to whether or not it should've been administrative or not, and so I appreciate it. I agree, you know, that it will be, you know...receiving it... but it's one of these things where the complexity of it struck me as

pretty close to the line, so I appreciate you being patient with our questions, and I realize you're not the applicant, but it's very good of you to answer all of our questions. Thank you.

President Slifka: Thank you, Mrs. Kindall. I'd simply concur with what my colleagues have said, and I remember, Mr. Alair sometime shortly after we adopted Blue Back kind of warning me, you know, these kind of changes are gonna have to happen a lot. It's because it's like the good news and the bad news of the SDD process. You have something complex like this, as it goes on, it's, you know, it's designed for the original set of tenants and what you think things are gonna go like and they don't always work out that way. The tenants turn over and you're gonna have to make changes, but because we put so much control over it, we have to go through this excruciating level of detail to make any of these changes where different kind of approval that would never come to us might barely go through Mr. Dumais, so I do think it a very good process. I had Mrs. Kindall's initial reaction when I saw the stack of papers, but I truly appreciate Mr. Dumais having, especially providing the summary memo, but his prior explanations as well, taking what something that did look awfully complex but mostly based on the numerous documents that had to be submitted, and make, boiling it down to a very simple thing and something that was very comfortable with approving here and that I understand far better as a result of your memo than I would've just going through it myself, so thank you for going that extra mile on this. I think we've made everybody well aware of the procedural piece of this now, so the motion is to receive. All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. But Mr. Dumais cannot leave yet. We have one more, #34. Mrs. Cantor?

**ITEM #34: NOTICE OF TOWN PLANNER'S INTENTION TO APPROVE PURSUANT TO SECTION 177-44C (9)(B) AND (E) A REQUEST ON BEHALF OF GDC, QUAKER GREEN, LLC, SEEKING APPROVAL FOR A REVISION TO SPECIAL DEVELOPMENT DISTRICT PLAN #48 LOCATED AT 999 SOUTH QUAKER LANE, KNOWN AS QUAKER GREEN. THE REQUEST IS FOR MINOR MODIFICATIONS TO THE LANDSCAPING AND LANDSCAPE AMENITIES AND FOR THE LOCATION APPROVAL OF AN ACCESSORY STRUCTURE**

**(See Attachment E)**

**RECEIVED**

Councilor Cantor: Notice of Town Planner's intention to approve pursuant to Section 177-44C (9)(b) and (e) a request on behalf of GDC, Quaker Green, LLC, seeking approval for a revision to Special Development District plan 48 located at 999 South Quaker Lane, known as Quaker Green. The request is for minor modifications to the landscaping and landscape amenities and for the location approval of an accessory structure. I move that we receive.

Councilor Kindall: Second.

President Slifka: Okay, the motion is made and seconded and again going around, I want to make sure everybody gets it, is another summary memo from Mr. Dumais, which undoubtedly will be making this much more simple. Mr. Dumais, back to you.

Mr. Dumais: Thank you, Mr. Mayor. Two years ago, I guess right when I started, this property came before the council, not as an administrative amendment but as a full-blown amendment, partially for one of the reasons being asked here. In that instance, Building A, which was the new building, a residential multi-unit building being constructed at the time, was constructed without provisions for the air conditioning units within the building. It was not approved that way, but it was constructed that way, so the request was to have a condenser farm located at either end of the building—a clustering of 18 condense—air conditioning units at either end. We made it abundantly clear going forward that you can't do that. It wasn't approved. This time around, it's a slightly different request. It's to install two ground-mount condenser units at the southeast corner of the building tucked away behind that yellow blob, I got a little carried away with my polygon tool in Microsoft Word, but it would be tucked behind those junipers. There'd be an additional screening planted around that, and that's to handle the common hallways within the building. It's just air conditioning for the common areas. They were gonna put them in the attic, but they're problematic from long-term problematic for the tenants, the condominium owners, for maintenance, and they're actually a little bit noisier if they were put up there, so the request is to install only two. All of the individual units are currently built and constructed in the units themselves, so there's only two. They would be well screened and far away from any of the other existing residential units on the entire complex. Part of that change is they'd be installing new landscaping, new junipers, some new dogwood and some other new grasses to help screen those. One other change is a request to remove the brick paver. There's a brick paver band as you drive in the south entrance. There's supposed to be one also constructed at the—I'm sorry, existing at the north entrance, to be constructed at the south entrance. This past winter, the condominium complex had a very difficult time keeping that free and clear of ice. It got to such a bad point, I think many of you may have received emails from people within the complex, that they completely made the decision to close that entrance. They felt it was unsafe to get in and out of there. They claimed vehicles were actually sliding through. They couldn't keep the paver area free of ice. They wish to just make it all asphalt, and they think that it will improve safety operations at the driveways, so the request is to eliminate that paver band within their driveway. The sidewalk area would be maintained as brick pavers. There's no request to change that, but it's a request to eliminate the paver treatment on the apron going up into the property.

President Slifka: Thank you, Mr. Dumais. Any questions or discussion? Mr. Davidoff?

Councilor Davidoff: I would concur that the removal of the pavers from the driveway is quite necessary. That entire, the entire winter, that access to that entire community was blocked off and there would be no way out for people, and it was a dangerous situation for those residing there and quite inconvenient, so I think that's the least that we could do to facilitate their quality of life.

President Slifka: Thank you, Mr. Davidoff. Mrs. Kindall?

Councilor Kindall: I agree that I think safety will trump it, though I will trump the, this thing that the pavers were a very nice decorative feature, and it is a pretty narrow driveway. It's a pretty narrow, steep, dark kind of a driveway, and it added some architectural interest to the driveway, and I'm a little concerned that now it's just going to be sort of a dark road going into the thing where it sort of, with that sort of kind of the entrance, and I'm not suggesting we deny it, but I think we need to acknowledge why the pavers were there in the first place, which was to add a little more interest to that entrance, and so while I agree that the safety requirements will, you know, really dictate it, I think that the aesthetics will really will be lost by that. Thank you.

President Slifka: Mrs. Kindall. Anyone else? I'd simply say that I agree that it's sad to see it go from an aesthetic perspective, I'm, though, much, I feel my conscience is more clear, though, in approving this in that they gave it a real shot. It's been there for, they installed it, they paid for it, they gave it a shot. It didn't work out, and now they've, only now they've come back. I know on occasion, you get developers who promise the Taj Mahal, get it approved, and then come back and say, well, how about I build a, you know, a little shack instead, and because you're already halfway there, they expect you to just accept it. That didn't happen in this case. I think if they'd come to us prior to constructing it I'd be concerned, but it does sound like that situation over the winter was pretty miserable and just an unfortunate result, so I'll be supporting it. Anyone else? Okay, again, the motion is to receive. All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. And, Mr. Dumais, I think we have one more with you. Number 35, Mrs. Cantor.

**ITEM #35: NOTICE OF TOWN PLANNER'S INTENTION TO APPROVE PURSUANT TO SECTION 177-44C (9)(B) AND (D) A REQUEST ON BEHALF OF BROOKDALE SENIOR LIVING, SEEKING APPROVAL FOR A REVISION TO SPECIAL DEVELOPMENT DISTRICT PLAN #41 LOCATED AT 1 CHATFIELD DRIVE. THE REQUEST IS FOR MINOR ARCHITECTURAL MODIFICATIONS TO THE BUILDING FAÇADE AND FOR MODIFICATIONS TO THE LANDSCAPING AND LANDSCAPE AMENITIES**

**(See Attachment F)**

**RECEIVED**

Councilor Cantor: Notice of Town Planner's intention to approve pursuant to a Section 177-44C (9)(b) and (d) a request on behalf of Brookdale Senior Living, seeking approval for a revision to Special Development District plan 41 located at 1 Chatfield Drive. The request is for minor architectural modifications to the building façade and for modifications to the landscaping and landscape amenities. I move that we receive.

Councilor Kindall: Second.

President Slifka: Okay, Mr. Dumais has circulated another memo which is going around, give everybody a second to see it, and Mr. Dumais, if you want to start, go right ahead.

Mr. Dumais: Thank you, Mr. Mayor. This request is a result of actual building level design drawings being submitted to the Building Department. The process, when a plan is approved, this was recently approved last year by council as a full amendment. Those building permit plans came in. They're forwarded over to the Zoning Enforcement Officer to review for consistency with the approved Special Development plan, and there were some minor discrepancies. Those discrepancies required a change to construct, so what we have are two sets of changes. One is minor architectural changes, a replacement of two doors with windows on the east and west elevations of the Memory Care Building. An additional covered porch more or less internal to the Memory Care external courtyard. It's kind of surrounded by the rest of the building. The addition of a false chimney on the south elevation, and I'd like to point out there's no change—proposed change in building height, FAR, or architectural style or finish. What I did in this is took a snapshot of the various building elevations where the applicant has proposed a change. They kind of clouded them out, but they're difficult to read on their plan, so I highlighted them in orange. The top one, which is the west and the east elevations, those had previously been proposed as doors. There was no need to actually have any kind of access for ingress and egress purposes, so they felt it was better served to change that to a window. The next one on the north elevation, that highlighted area, that's that courtyard where they're extending a covered over the porch—a covered porch over what was approved as the exterior courtyard—and lastly at the south elevation you'll see highlighted a false chimney that—that's a venting chimney for emergency generator and some other elements, and they wanted to screen the view of those elements from the exterior by building a faux chimney to kind of disguise what's there. Also, we did note a few discrepancies to the approved landscaping plan, and a lot of these are resulting from the various landscape yards not having the required or specified landscape material, so I think Mr. Davidoff, you had requested kind of a plan like this last time that was before you, and it highlights all of the landscape materials that are changed, and these are all slight changes in the location or the species type. There's no changes of size or removal—there's no removal of plant material, and there's specifically no change on the landscape berm on the south side of the property. On the original approval a couple of years ago, that was a very contentious area with the neighborhood on Elmfield Street, so there's no changes being proposed there. The rest of the changes are to accommodate the swap of plant material, and there's an overall net increase in the amount of landscaping going in as a result of this request.

President Slifka: Thank you, Mr. Dumais. Any questions or comments? Mr. Dumais, I would simply say these memos are fantastic, and I would kind of related to Mr. Barnes' question from earlier tonight about the distance that people get notice and the town suggesting, I know we have certain things along with that that we ask applicants to do. They're not required, we ask them to do them. If there were a way for you encourage some of the folks who come in with applications to do, put together material like this, I think all my colleagues would find it fantastic. The lawyers may not like it 'cause they wouldn't spend as much billable time here in the hearings, but I think it would make our work much better, and I really compliment you on this. This is tremendous work. Is there anything further on this one? Okay, all those in favor of receiving?

All: Aye.

President Slifka: Those opposed? Motion carries. Thank you Mr. Dumais, you're relieved. We're now up to 36.

**ITEM #36: FROM GEORGE GURNEY RESIGNING FROM THE CONSERVATION AND ENVIRONMENT COMMISSION**

**RECEIVED**

Councilor Cantor: From George Gurney resigning from the Conservation and Environment Commission. I move that we receive.

Councilor Kindall: Second.

President Slifka: Motion is made and seconded, and I know Mr. Gurney has been there for many, many years and thank him for his service. All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. Number 37?

**ITEM #37: FROM DAVID KNISHKOWY RESIGNING FROM THE HUMAN RIGHTS COMMISSION**

**RECEIVED**

Councilor Cantor: From David Knishkowy resigning from the Human Right Commission. I move that we receive and also I'm thanking him. He actually started that back up again and it was his initiative that did that.

Councilor Kindall: Second.

President Slifka: Made and seconded. I concur with Mrs. Cantor. Note they are moving out of town, so it's causing—forcing him to leave with a heavy heart. All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. Number 38?

**ITEM #38: FROM ZONING BOARD OF APPEALS – 2014 ANNUAL REPORT**

**RECEIVED**

Councilor Cantor: From Zoning Board of Appeals, 2014 Annual Report (999). Move that we receive.

Councilor Kindall: Second.

President Slifka: No discussion? All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. No Petitions, so could I entertain a motion to adjourn?

**ITEM #40: ADJOURNMENT**

Councilor Cantor: So moved.

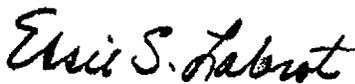
Councilor Kindall: Second.

President Slifka: All those in favor?

All: Aye.

President Slifka: Those opposed? Motion carries. We're adjourned. Good night.

Meeting adjourned at 8:50 p.m.



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Essie S. Labrot  
Town Clerk/Council Clerk

/jw

**APPROVED AT JUNE 9, 2015, TOWN COUNCIL MEETING**

Attachment A

ITEM NO. 10  
FILE NO. 1308

May 1, 2015

Mayor Scott Slifka  
The Honorable Town Council  
Town of West Hartford  
28 South Main Street  
West Hartford, CT 06107

Re: Request amendment to Special Development District #93 located at 26 Caya Avenue

Dear Mayor and Members of the Council:

Application is hereby filed on behalf of the Connecticut Association of Public School Superintendents, Inc. (CAPSS) for an amendment to the existing Special Development District (SDD) #93. The Town Council approved the original petition for the SDD in December of 1993 and a subsequent modification of the SDD in August of 2003. This property is located along the north side of Caya Avenue. A legal description of the property, from Town records, is set forth in exhibit A, which is incorporated as a part of this application.

The applicant respectfully requests an amendment to the existing SDD to allow for demolition of the entryway and staircase added to the existing house under the 1993 amendment, the construction of a two story addition of 1,235 square feet (a net area increase of 955 square feet) and the reconfiguration and expansion of the parking lot by four (4) spaces. The following is a brief description of the proposal, which summarizes the details set forth in the plans and other enclosures.

**Lerner Ladds Bartels**  
161 Exchange St.  
Pawtucket, RI 02860  
401.421.7715  
www.LLBarch.com

**RECEIVED**

**MAY - 1 2015**

TOWN CLERK/TOWN COUNCIL OFFICE  
West Hartford, CT

## ABOUT THE APPLICANT:

The Connecticut Association of Public School Superintendents (CAPSS) is a statewide nonprofit educational administration organization the membership of which includes Connecticut public school superintendents, assistant superintendents, central office administrative personnel and other administrators. It provides educational and administrative leadership on a state and national level, including researching, gathering and disseminating data and information helpful to the effective management and operation of public school systems. CAPSS maintains state and federal legislative activity and strives to influence positive laws and regulations affecting the education of public school students. They also provide personal support services for their members, including statewide conferences of interest to the education community. CAPSS is a voice for and advocate of quality public school education.

## HISTORY OF THE SITE:

### 1993

CAPSS located its executive offices at 26 Caya Avenue in 1993, after making improvements to the existing house and site. Under the original SDD approval, CAPSS demolished one of the two existing dwelling units, remodeled the 1750 square foot unit at 26 Caya Avenue and added a one-story meeting room of approximately 820 square feet. In addition to an existing driveway, CAPSS added 25 regular parking spaces, plus one ADA space. This was to accommodate three full time staff and host delegates and visitors ranging from 6 to 15 per day. Once a month, the full board of directors meets, typically comprising 16 board members and 10 guests.

### 2003

Under the 2003 amendment to the SDD, CAPSS increased the size of the meeting room by 280 square feet and added four parking spaces. Their primary motivation for adding on to the meeting room was that, though attendance at meetings was matching projected levels, the conference room was cramped during meetings of the board.

### 2013

In keeping with the needs of its members, CAPSS has increased their staffing in recent years. This has allowed them to better serve constituent districts while also providing better representation at legislative activities. Full and part time staff number fewer than ten, however, so while the parking is more than adequate for day to day operations and is acceptable for monthly board meetings, the available work and meeting space in the existing building is inadequate for effective operations.

Under the current proposal, CAPSS plans to demolish the existing entry and stairway and replace it with a new entry, stairway, reception area, offices, and a meeting room. In keeping with Town Zoning ordinances, they are proposing four additional parking spaces. This will make a total of 37 regular spaces, and two ADA compliant spaces. To accommodate these spaces and the new building configuration, the driveway is designed to maintain the vehicle entry at the western driveway, circulation around the building and exiting from both the eastern and western driveways.

Under the previous applications, the existing woods were retained. These remain still and continue to provide shielding of the existing parking lot from both Caya Avenue and the Interstate Highway. In addition, the open areas around the house were planted with grass and ornamental bushes and trees. As part of this application, one of the existing trees is to be removed and replaced. A landscaping plan has been developed to show this proposed planting as well as other improvements to the vegetation and drainage on the site.

The proposed addition will require some work to be done to the existing building. This includes stripping and re-roofing the entire building, removing the vinyl siding from most of the western elevation and replacing it with cement board siding, replacing the non-ADA compliant building entry with a compliant walkway, and moving the ADA compliant parking spaces into closer proximity to the entry.

Two neighborhood outreach sessions are planned for May 14<sup>th</sup>. One afternoon and one evening session will allow neighbors to view the plans, meet with the architect and CAPSS staff, and ask questions they may have. A copy of the invitation letter is included in this submittal package.

I trust the foregoing narrative and other information provided allows a complete understanding of the project to be developed. Please do not hesitate to contact me if there are any questions.

Sincerely yours,



Gregory J. Smalley, AIA  
Principal

**ATTACHMENTS:**

1. Exhibit A: Legal description of the property from Town records
2. Agent Authorization Letter
3. Three 24" x 36" drawing sets, dated May 1, 2015
4. 20 11" x 17" drawing sets with narrative letter, dated May 1, 2015
5. Copy of neighborhood outreach letter

CC: J Tindall-Gibson CAPSS

DESCRIPTION OF PROPERTY

A certain piece or parcel of land with the buildings thereon situated in the Town of West Hartford, County of Hartford and State of Connecticut, known as No. 24 and 26-28 Caya Avenue, and being more particularly bounded and described as follows, to wit:

- Northerly: by land now or formerly of the State of Connecticut, Interstate Route #84, three hundred and fifty (350) feet;
- Easterly: by land now or formerly of Remesh and Labhu Nar being lot No. 20, one hundred and twelve (112) feet;
- Southerly: Easterly portion by Caya Avenue one hundred and fifty (150) feet; and the Westerly portion by land released by State of Connecticut now or formerly to Johnathan Googel & Benjamin Sisti, one hundred and forty one (141) feet;
- Westerly: Northerly portion by land now or formerly of State of Connecticut, Interstate #84, twenty four (24) feet; and the southerly portion by land released by State of Connecticut now or formerly to Jonathan Googel & Benjamin Sisti, thirty (30) feet.



May 1, 2015

Mayor Scott Slifka  
The Honorable Town Council  
Town of West Hartford  
28 South Main Street  
West Hartford, CT 06107

Re: Petition for an amendment to the existing Special District Designation for the premises known as 26 Caya Avenue

Dear Mayor and Members of the Council:

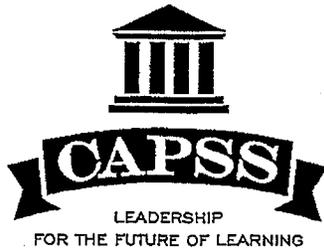
Application is hereby filed on behalf of the Connecticut Association of Public School Superintendents, Inc. (CAPSS), for an amendment to the existing Zone Change and Special District Designation (ZCSDD).

This letter is to authorize Gregory Smolley, Architect, as a partner of LLB Architects, to file the application on behalf of CAPSS.

Sincerely Yours,

Joseph J. Cirsuio  
Executive Director  
CAPSS





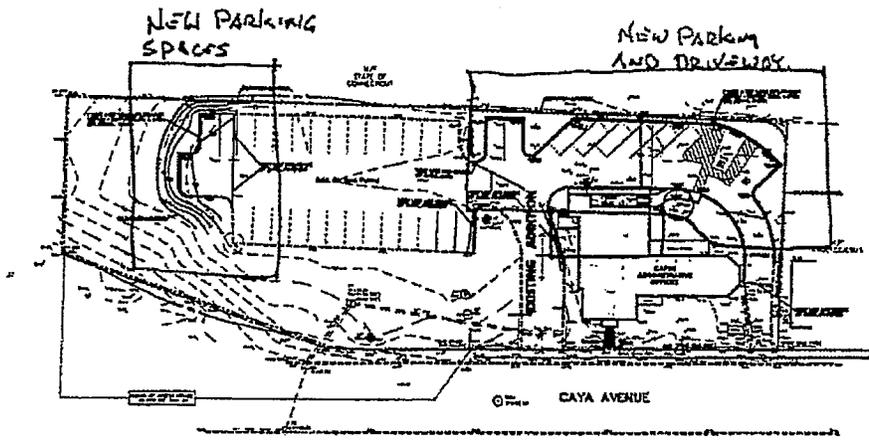
Dear Neighbor,

This letter is to inform you that The Connecticut Association of School Superintendents, located at 26 Caya Avenue, has submitted an application to the Town of West Hartford for approval to make improvements to our property. We are proposing to demolish the existing entrance and stairway at the rear of the building and replace it with an entrance, stairway, and offices, as shown on the rendering on the back of this letter. We are also proposing to demolish the garage and to add parking spaces, as shown on the site plan on the back of this letter.

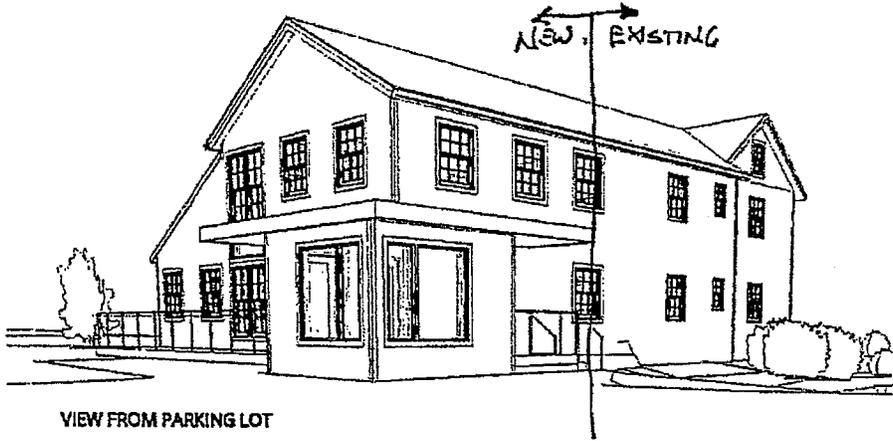
We invite you to our office to review our plans, meet with us and the architect, and ask any questions you may have about the project. We have scheduled two meeting times: May 14<sup>th</sup> from 3:00 to 4:00pm and from 6:00 to 7:00pm. We hope you will stop by for a cup of coffee, review the plans, and ask us any questions you may have.

Sincerely,

Joseph J. Cirsuolo, Ed.D.  
Executive Director  
CAPSS



SITE PLAN

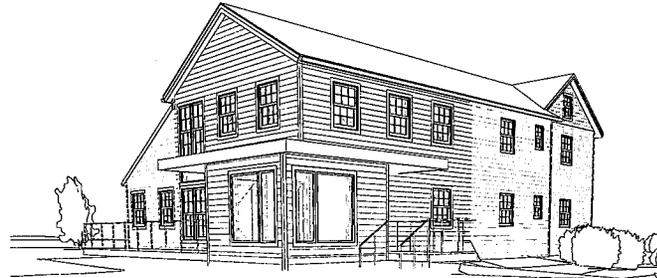


VIEW FROM PARKING LOT

# RENOVATIONS AND ADDITION TO CAPSS ADMINISTRATIVE OFFICES

26 CAYA AVE  
WEST HARTFORD, CT

SPECIAL DEVELOPMENT  
DISTRICT APPLICATION  
MAY 01 2015



**LLB ARCHITECTS**

Lerner Ladd Bartels  
161 Exchange St  
Hartford, CT 06103  
401-421-7315  
www.llbarch.com



**WESSON, HEAGLE & FRIEND**  
ARCHITECTS & INTERIORS  
201 BROADWAY  
HARTFORD, CT 06103  
PHONE: (860) 478-4657

RENOVATIONS AND ADDITION TO  
CAPSS ADMINISTRATIVE OFFICES  
26 CAYA AVE  
WEST HARTFORD, CT

SPECIAL DEVELOPMENT  
DISTRICT APPLICATION  
MAY 01 2015

RECEIVED

MAY - 1 2015

TOWN CLERK/TOWN COUNCIL OFFICE  
West Hartford, CT

**LLB ARCHITECTS**  
 Lerner Laddis Bartels  
 151 Exchange St.  
 Pawtucket, RI 02860  
 401.421.2715  
 www.llbarch.com

**CRS LP**  
 LAND PLANNERS  
 LANDSCAPE ARCHITECTS  
 87 WASHINGTON STREET  
 SUITE 1100  
 WEST HARTFORD, CT 06107

**MEGSON, HEAGLE & FRIEND**  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-668-0587

REVISIONS AND ADDITION TO  
**CAPSS ADMINISTRATIVE OFFICES**

26 CAYA AVE  
 WEST HARTFORD, CT

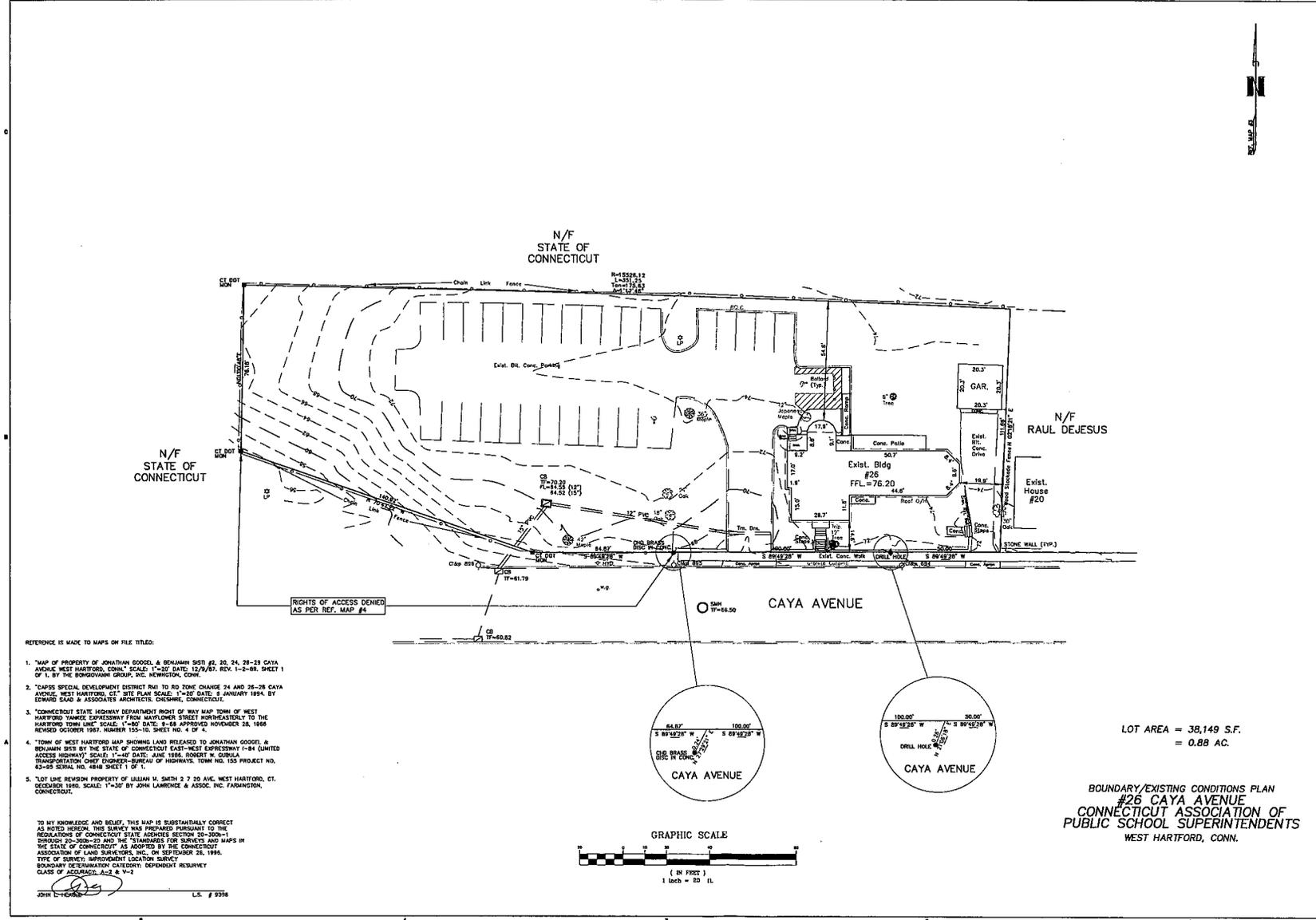
SPECIAL DEVELOPMENT  
 DISTRICT APPLICATION  
 MAY 01 2015

REVISIONS  
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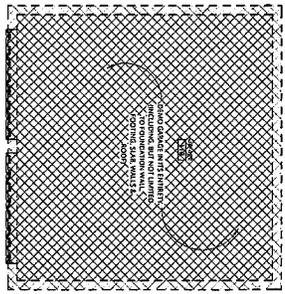
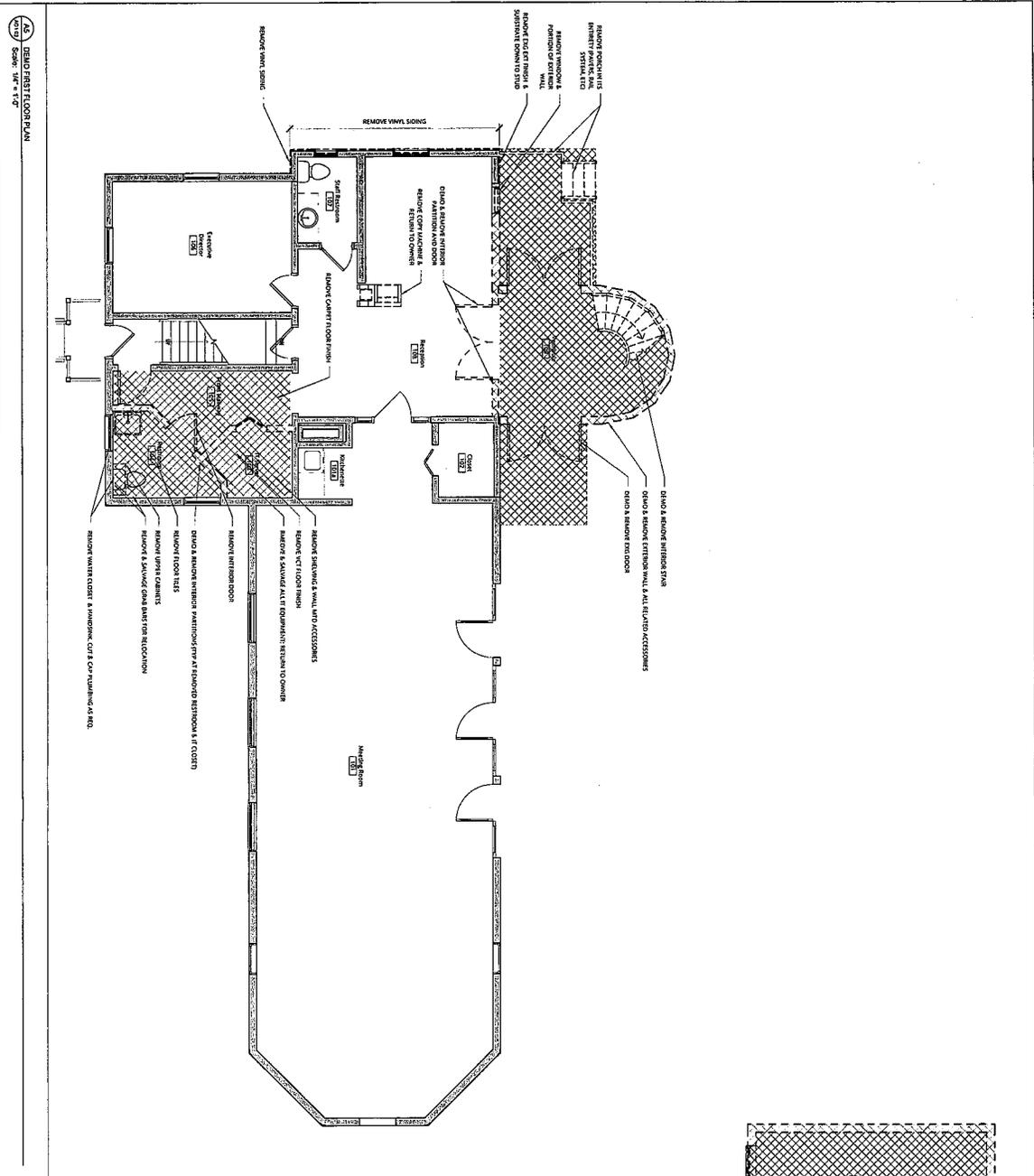
EXISTING CONDITIONS

05/01/2015

C1.00







**REVISIONS**


**SPECIAL DEVELOPMENT**  
 DESIGN APPLICATION  
 MAY 01 2015

**DEMOLITION FIRST FLOOR PLAN**

05/01/2015

**AD1.02**

**RENOVATIONS AND ADDITION TO  
 CAPSS ADMINISTRATIVE OFFICES**

26 CAVA AVE  
 WEST HARTFORD, CT

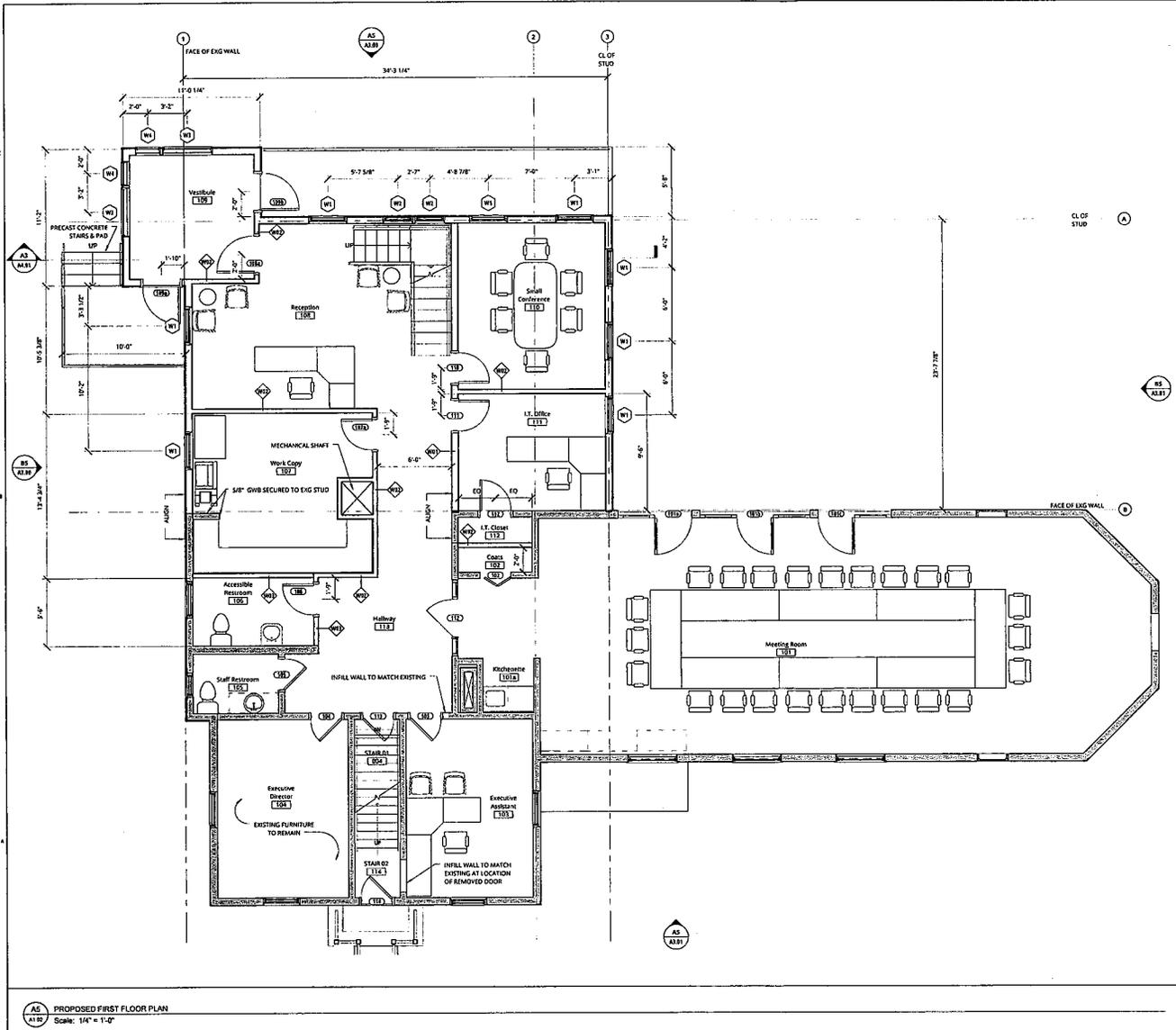
**MISSION, HENKLE & FRIEND**  
 ARCHITECTS  
 141 Exchange St.  
 West Hartford, CT 06107  
 Phone: 860.234.4444  
 www.missionhkf.com

**LEB ARCHITECTS**  
 Lester Ladd Architects  
 141 Exchange St.  
 West Hartford, CT 06107  
 Phone: 860.234.4444  
 www.lebarch.com

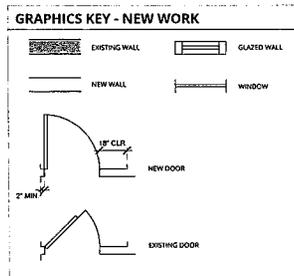
**AD1.02 DEMO FIRST FLOOR PLAN**  
 Scale: 1/8" = 1'-0"







AS AT 0 PROPOSED FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"



**LLB ARCHITECTS**  
Lerner Ladd Bartels  
161 Exchange St.  
Providence, RI 02903  
401.421.1715  
www.llbarch.com



**MEDSON, HEAGLES & FRIEND**  
PLUMBING, HEATING & AIR CONDITIONING INC.  
60 BARKER ROAD  
SLACKTONSBURY, CT 06230  
PHONE: (860) 459-0007

RENOVATIONS AND ADDITION TO  
**CAPSS ADMINISTRATIVE OFFICES**  
26 COWAY AVENUE  
WEST HARTFORD, CT

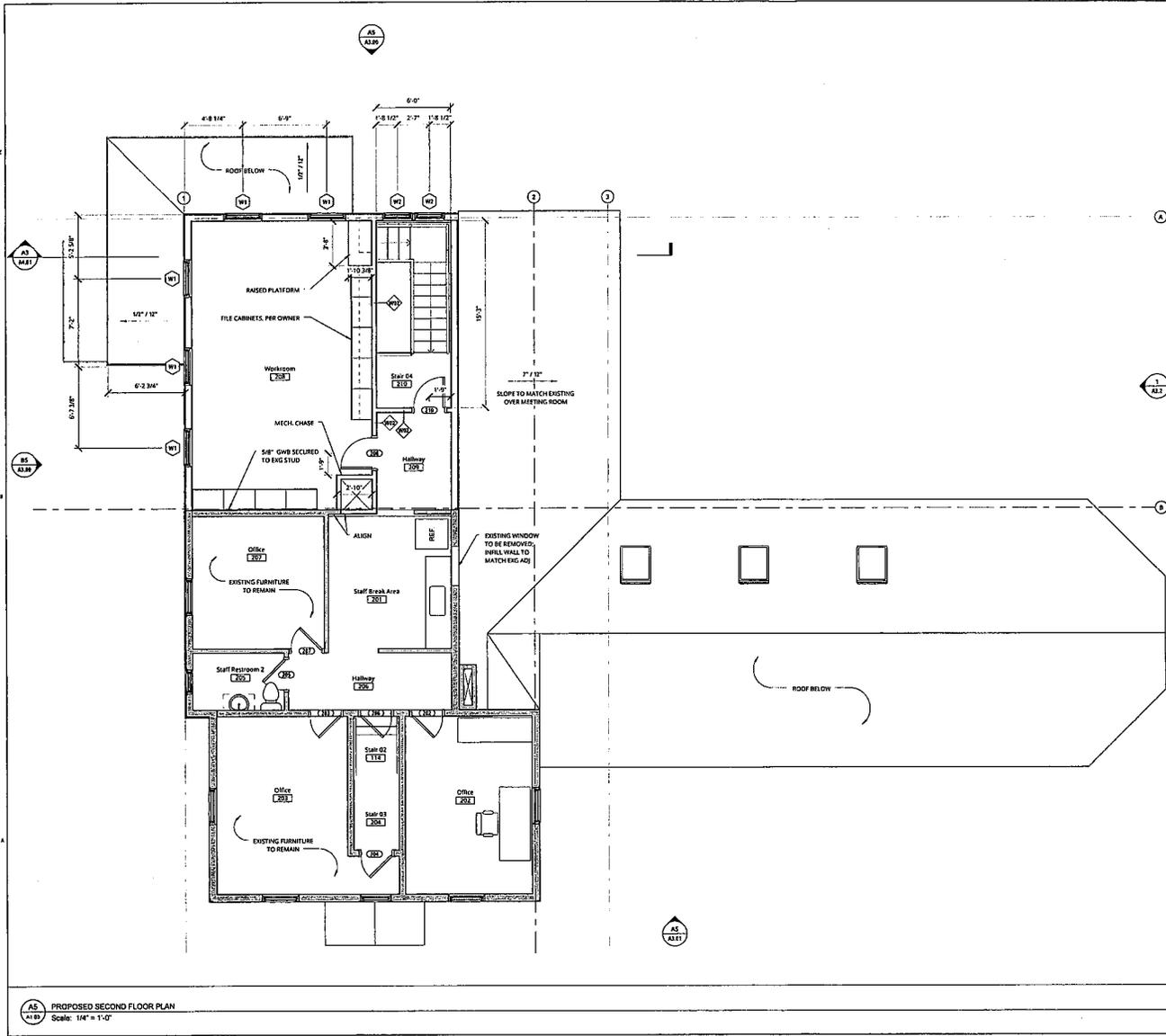
SPECIAL DEVELOPMENT  
DISTRICT APPLICATION  
MAY 01 2015

REVISIONS

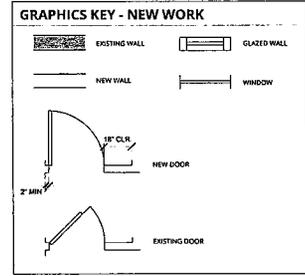

PROPOSED FIRST FLOOR  
PLAN

05/01/2015

**A1.02**



**A1.03** PROPOSED SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"



**LLB ARCHITECTS**  
Lerner Ladda Bartels  
161 Exchange St.  
Providence, RI 02903  
401-471-2115  
www.LLBArch.com



**MEGSON, HEAGLE & FRIEND**  
CIVIL ENGINEERS & LAND PLANNERS, LLC  
10 BABCOCK ROAD  
GLAUCOURT, CONNECTICUT 06033  
PHONE: (860) 659-0550

RENOVATIONS AND ADDITION TO  
**CAPSS ADMINISTRATIVE OFFICES**  
26 CAVANAHE  
WEST HARTFORD, CT

SPECIAL DEVELOPMENT  
DISTRICT APPLICATION  
MAY 01 2015  
REVISIONS  
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PROPOSED SECOND  
FLOOR PLAN  
05/01/2015

**A1.03**



**RENOVATIONS AND ADDITION TO  
 CAPSS ADMINISTRATIVE OFFICES**

26 CAVA AVE  
 WEST HARTFORD, CT

SPECIAL DEVELOPMENT  
 DISTRICT APPLICATION  
 MAY 01, 2015

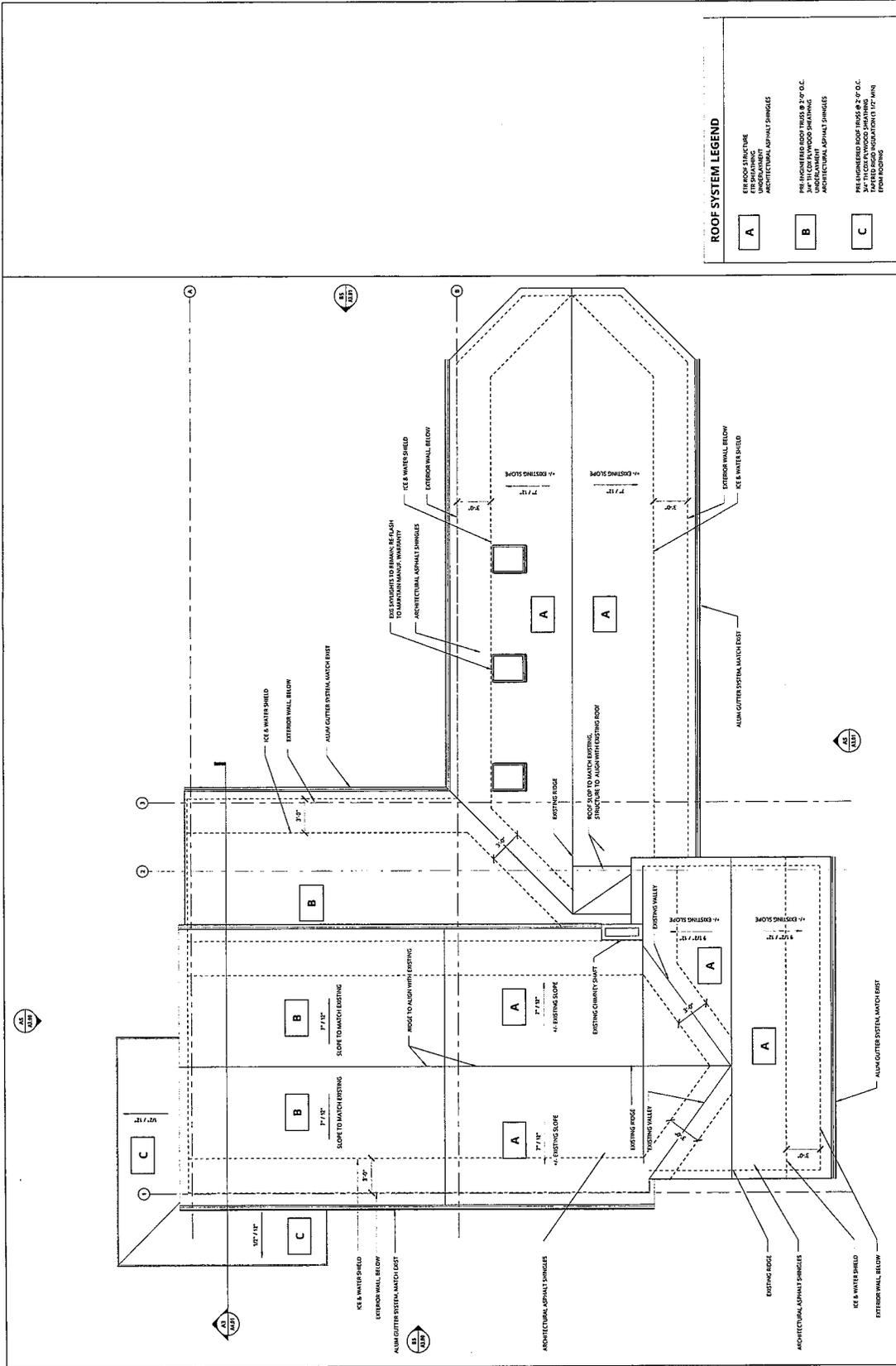
REVISIONS

NO.	DESCRIPTION

PROPOSED ROOF PLAN

05/01/2015

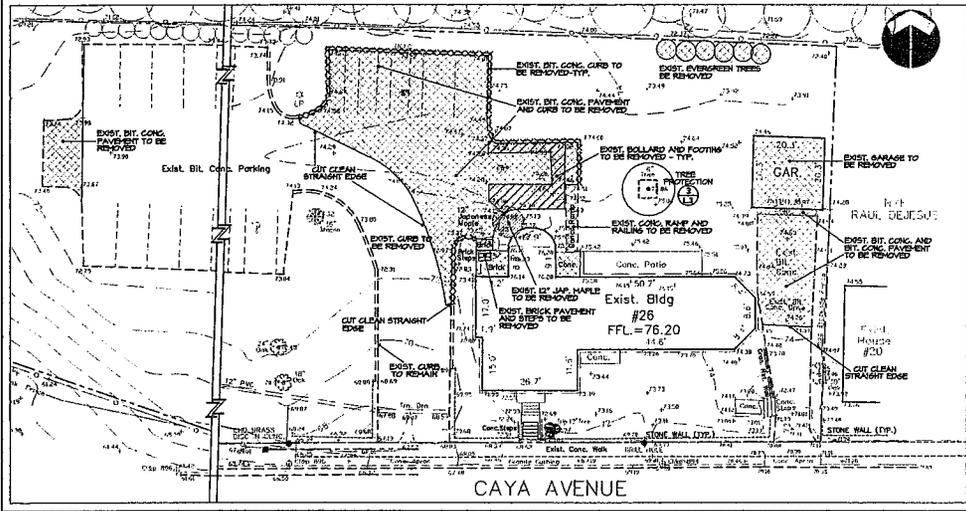
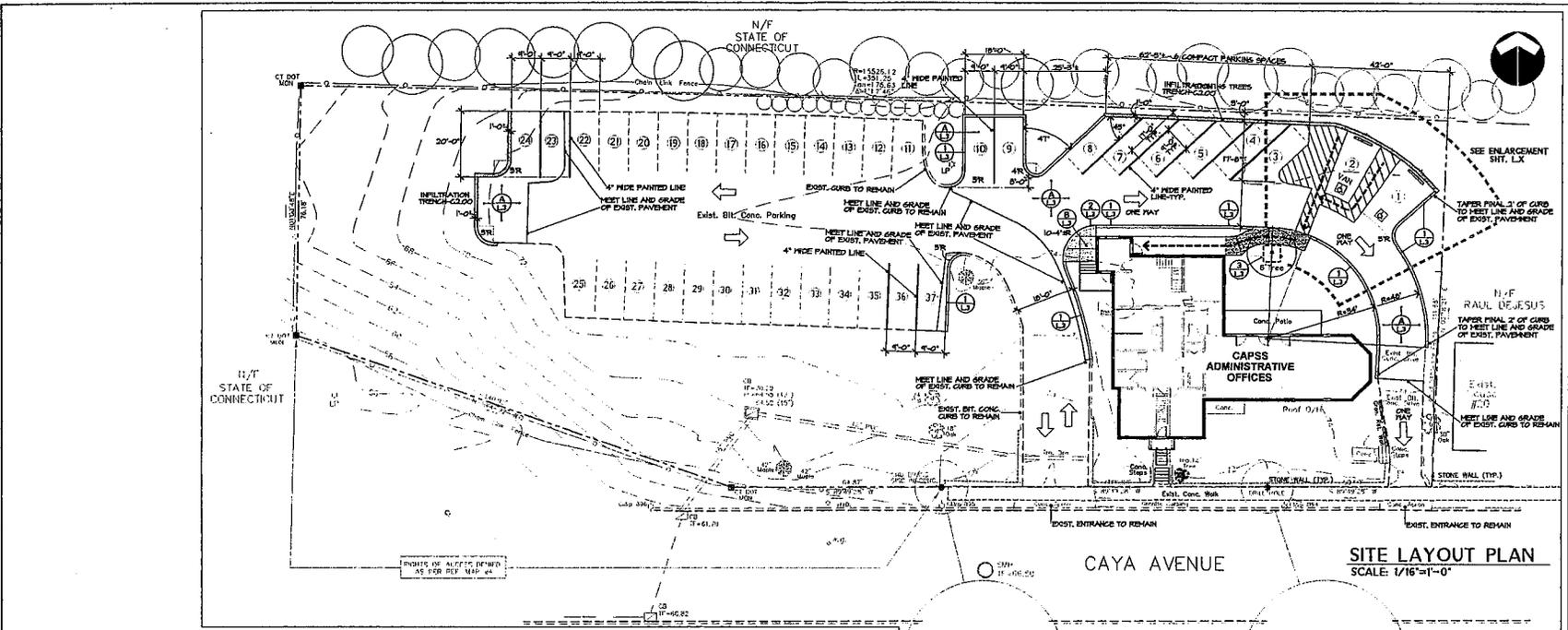
**A1.04**



**ROOF SYSTEM LEGEND**

<b>A</b>	PRE-ENGINEERED ROOF TRUSS @ 2'0" O.C. 1/2" ARCHITECTURAL SPANNT SHINGLES ARCHITECTURAL SPANNT SHINGLES
<b>B</b>	PRE-ENGINEERED ROOF TRUSS @ 2'0" O.C. 1/2" ARCHITECTURAL SPANNT SHINGLES ARCHITECTURAL SPANNT SHINGLES
<b>C</b>	PRE-ENGINEERED ROOF TRUSS @ 2'0" O.C. 1/2" ARCHITECTURAL SPANNT SHINGLES ARCHITECTURAL SPANNT SHINGLES 1/2" ARCHITECTURAL SPANNT SHINGLES 1/2" ARCHITECTURAL SPANNT SHINGLES

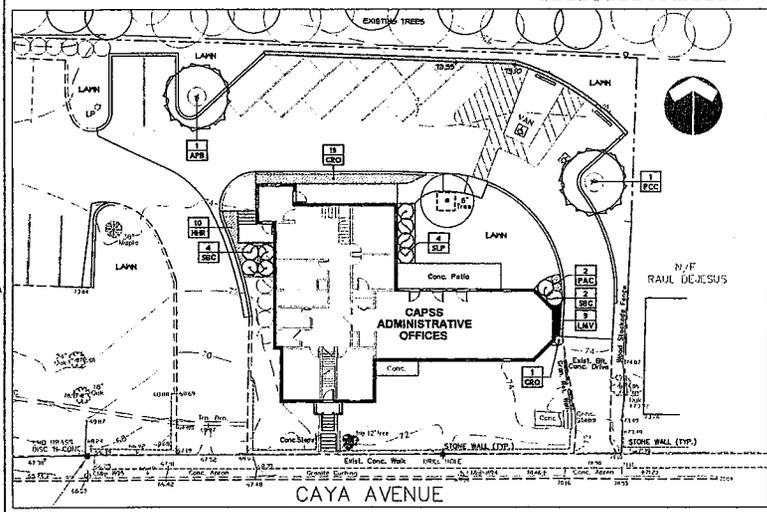
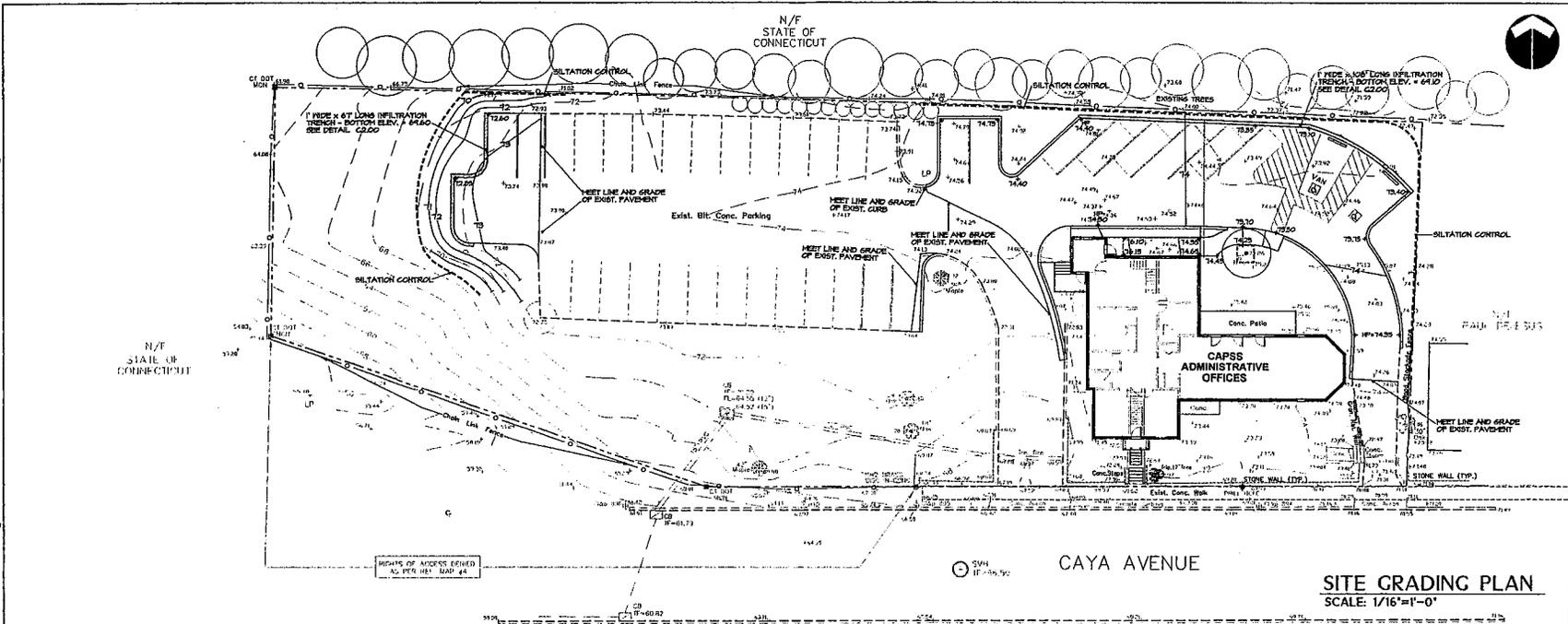
PROPOSED ROOF PLAN  
 Scale: 1/8" = 1'-0"



**GENERAL NOTES:**

1. PRIOR TO ANY CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL ESTABLISH ADEQUATE GRADING INFORMATION FOR PROPOSED WORK TO ALLOW FOR THE EVALUATION OF ITS RELATIONSHIP TO EXISTING SITE FEATURES AND VEGETATION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF ANY SURVEY INFORMATION IS INCORRECT. IF REQUIRED, FIELD MODIFICATIONS AS AUTHORIZED BY THE OWNER'S REPRESENTATIVE SHALL BE MADE TO SAVE EXISTING SITE FEATURES OR VEGETATION.
2. SITE LAYOUT IS TO BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE THE CONTRACT LIMIT LINE DUE TO CONSTRUCTION OPERATIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD BEFORE BEGINNING ANY EXCAVATION. CALL 48 HOURS IN ADVANCE FROM ANYWHERE IN THE STATE OF CONNECTICUT, "CALL BEFORE YOU DIG" 1-800-327-4489 OR DIAL 811 OR GUYWIRE.COM.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO FIRE HYDRANTS AT ALL TIMES.
6. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
7. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR OTHERS TO ALL BUILDINGS AT ALL TIMES.
8. PROTECTIVE TREE FENCING SHALL BE INSTALLED AND MAINTAINED IN PLACE AT EXISTING TREES DURING CONSTRUCTION OPERATIONS. IT SHALL BE REMOVED ONLY WHEN CONSTRUCTION OPERATIONS ARE COMPLETE.
9. PLACE EROSION CONTROLS WHERE REQUIRED. SEE C1.00 AND C2.00.

**SITE PREPARATION PLAN**  
SCALE: 1/16"=1'-0"



**GENERAL NOTES PLANTING:**

1. AS CONSTRUCTION PROGRESSES, FINE GRADE AND SEED OR SOIL AS SOON AS POSSIBLE TO REDUCE RUNOFF.
2. ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVING, PLANTING BEDS OR OTHER IMPROVEMENTS SHALL BE GRADED, TOPSOILED TO A DEPTH OF 6\" AND SEEDS. PLANT BEDS SHALL BE TOPSOILED TO A DEPTH OF 12\".
3. IN ALL SEED BEDS TO RECEIVE MASS PLANTING, PROVIDE FINE SAND MULCH AS DETAILED. ESTABLISH A HEAVY SHOON EDGE BETWEEN MULCH AND LAWN.
4. ADJUSTMENTS IN THE LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO LOCATIONS OF UTILITIES. ADJUSTMENTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE.
5. PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS. THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE DRAWING SYMBOLS PREVAIL OVER THE PLANT LIST QUANTITIES.
6. SEE SHT. L3.00 FOR PLANTING DETAIL.

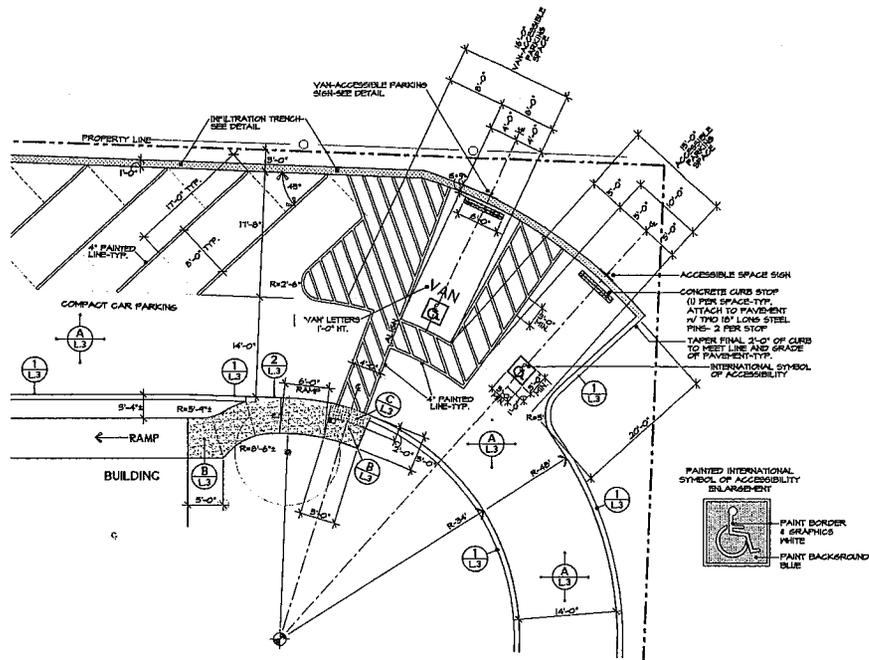
**GENERAL NOTES GRADING:**

1. PRIOR TO ANY CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL ESTABLISH ADEQUATE GRADING INFORMATION FOR PROPOSED WORK TO ALLOW FOR THE EVALUATION OF ITS RELATIONSHIP TO EXISTING SITE FEATURES AND VEGETATION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF ANY SURVEY INFORMATION IS INCOMPLETE. IF REQUIRED, FIELD MODIFICATIONS AS AUTHORIZED BY THE OWNER'S REPRESENTATIVE SHALL BE MADE TO SAVE EXISTING SITE FEATURES OR VEGETATION.
2. PROPOSED GRADES ARE TO BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE THE CONTRACT LIMIT LINE DUE TO CONSTRUCTION OPERATIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD BEFORE BEGINNING ANY EXCAVATION. CALL 48 HOURS IN ADVANCE FROM ANYWHERE IN THE STATE OF CONNECTICUT, "CALL BEFORE YOU DIG", 800-322-4899.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO FIRE HYDRANTS AT ALL TIMES.
6. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
7. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR OTHERS TO ALL BUILDINGS AT ALL TIMES.
8. DO NOT ALLOW GATOR BARRIERS TO FILL WITH SAND AND SOIL.
9. PROPOSED GRADES INDICATE INTENT. THE CONTRACTOR SHALL VERIFY ELEVATIONS AND MAKE ADJUSTMENTS AS REQUIRED AND AUTHORIZED BY THE OWNER'S REPRESENTATIVE TO MEET FIELD CONDITIONS AND TO PROVIDE POSITIVE SURFACE DRAINAGE.
10. BLEND NEW GRADES SMOOTHLY WITH EXISTING, ROUND TOPS AND BOTTOMS OF SLOPES.

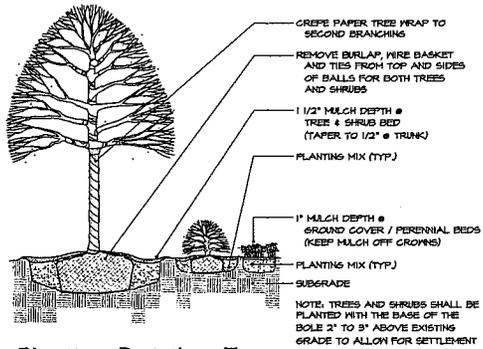
**PLANT LIST:**

KEY	QTY.	TECHNICAL NAME	COMMON NAME	SIZE	COND.
<b>DECIDUOUS TREES</b>					
APB	1	ACER PALMATUM 'BLOSSOMWOOD'	BLOSSOMWOOD JAPANESE MAPLE	26\"-30\" CAL.	BIB
POC	1	PYRUS GALLORIANA 'GANTIGLEEN'	CHANTRELLE FLOUNDER PEAR	26\"-30\" CAL.	BIB
<b>DECIDUOUS SHRUBS</b>					
SPS	6	SPYREA BAIALIDA 'GOLDMOUND'	GOLDMOUND SPYREA	3 GAL.	CONT.
SLP	4	SPYREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPYREA	3 GAL.	CONT.
<b>PERENNIALS</b>					
HRR	10	HIERACIUM VAPARY 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	3 PNT.	CONT.
BRD	20	BERNARDI ROZANNE	ROZANNE BERNARDI	3 PNT.	CONT.
LNV	4	LINDERA MOGICA 'YAKUSAYAMA'	YAKUSAYAMA LILTBERRY	3 PNT.	CONT.
<b>GRASSES</b>					
PAC	2	PENNETHAL ALPESICURIDES 'CASIAN'	CASIAN FOUNTAIN GRASS	3 PNT.	CONT.

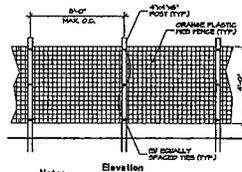
**SITE PLANTING PLAN**  
SCALE: 1/16\"=1'-0\"



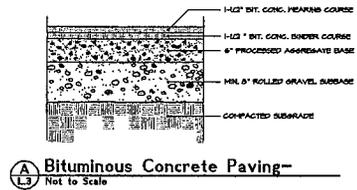
**Handicapped Parking and Walk Enlargement**  
Scale : 1/8"=1'-0"



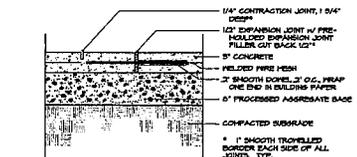
**Planting Detail - Typ.**  
Not to Scale



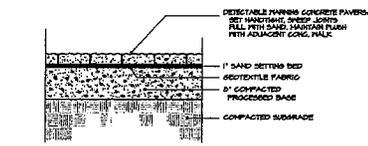
**Tree Protection Fencing**  
Not to Scale



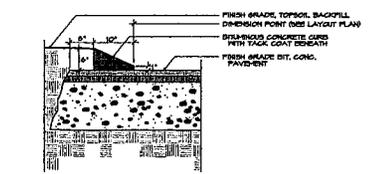
**Bituminous Concrete Paving**  
Not to Scale



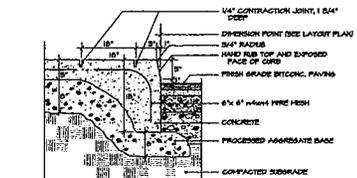
**Concrete Walk Pavement**  
Not to Scale



**Detectable Warning Conc. Pavers on Sand**  
Not to Scale



**Bituminous Concrete Curb**  
Not to Scale



**Integral Concrete Curb**  
Not to Scale

**LLE ARCHITEC**  
Lerner Ladd Bartel  
161 Exchange St.  
Hartford, CT 06103  
861.421.7115  
www.llearch.com

**CR LAND PLANNERS**  
LANDSCAPE ARCHITECTS  
171 Middlebury Street  
Hartford, CT 06103

**MEGSON, HEAGLE & FRIH**  
CIVIL ENGINEERS & LAND SURVEYORS  
81 BANKNEY ROAD  
Glastonbury, Conn. 06033  
PHONE: (860) 868-0587

REVISIONS AND ADDITION TO  
**CAPSS ADMINISTRATIVE OFFICES**  
28 CUYA AVE.  
WEST HARTFORD, CT

SPECIAL DEVELOPMENT  
DISTRICT APPLICATION  
MAY 2016

REVISIONS

SITE DETAILS

05/01/2016

**L3.00**

**EASEMENT**

**Know all men by these presents** that Kevin D. Roche and Deborah M. Roche (hereinafter "Grantors"), who are the owners of property known as 12 Meadow Farms Road, West Hartford, Connecticut, for good and valuable consideration received to their full satisfaction of the Town of West Hartford (hereinafter referenced as "Grantee"), do hereby grant unto the Grantee, its successors and assigns forever an easement for the purpose of maintaining a storm drainage pipe, over, under, upon and across the property of the Grantors. Said easement area being more particularly described as follows:

Beginning at a point a distance of fifteen and seventy six hundredths (15.76) north of the southeast corner of land now or formerly of Pamela J. Price (14 Meadow Farms Road);

Thence running northerly along the easterly property line of land now or formerly of Pamela J. Price (14 Meadow Farms Road) for a distance of twenty seven and forty three hundredths (27.43) feet to a point;

Thence running in a northeasterly direction along a line that forms an internal angle of  $133^{\circ}$  with the previous line for a distance of twenty one and fifty nine hundredths (21.59) feet to a point;

Thence running in a southeasterly direction along a line that forms an internal angle of  $90^{\circ}$  with the previous line for a distance of twenty and zero hundredths (20.00) feet to a point;

Thence running in a southwesterly direction along a line that forms an internal angle of  $90^{\circ}05'$  with the previous line for a distance of forty and thirty hundredths (40.30) feet to the point and place of beginning.

Said easement containing 620 square feet, more or less, and being more particularly shown on a map entitled "Town of West Hartford Map Showing Drainage Easement Acquired From Kevin D. Roche, et al. by the Town of West Hartford, 12 Meadow Farms Road, Scale 1"=50', dated November, 2013."

To have and to hold the above-granted rights, privilege and authority unto the said Grantee, its successors and assigns forever, to its own proper use and behoof.

IN WITNESS WHEREOF, we have hereunto set our hands and seals this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

Signed, sealed and delivered in the presence of:

Susan Rheanne  
JM  
Susan Rheanne  
JM

GRANTORS  
KEVIN D. ROCHE

[Signature]

DEBORAH M. ROCHE

Deborah M Roche

GRANTEE  
TOWN OF WEST HARTFORD

By \_\_\_\_\_  
Ronald Van Winkle, Town Manager  
Duly Authorized

STATE OF CONNECTICUT)

) ss.

, 2014

COUNTY OF HARTFORD )

Personally appeared Kevin D. Roche, signer and sealer of the foregoing instrument and acknowledged the same to be his free act and deed, before me

Susan Rheanne

Notary Public

My Commission expires Sept 30, 2016

STATE OF CONNECTICUT)

) ss.

, 2014

COUNTY OF HARTFORD )

Personally appeared Deborah M. Roche, signer and sealer of the foregoing instrument and acknowledged the same to be her free act and deed, before me

Susan Rheame

Notary Public

My Commission expires 9/30/16

STATE OF CONNECTICUT)

) ss. West Hartford, CT,

, 2014

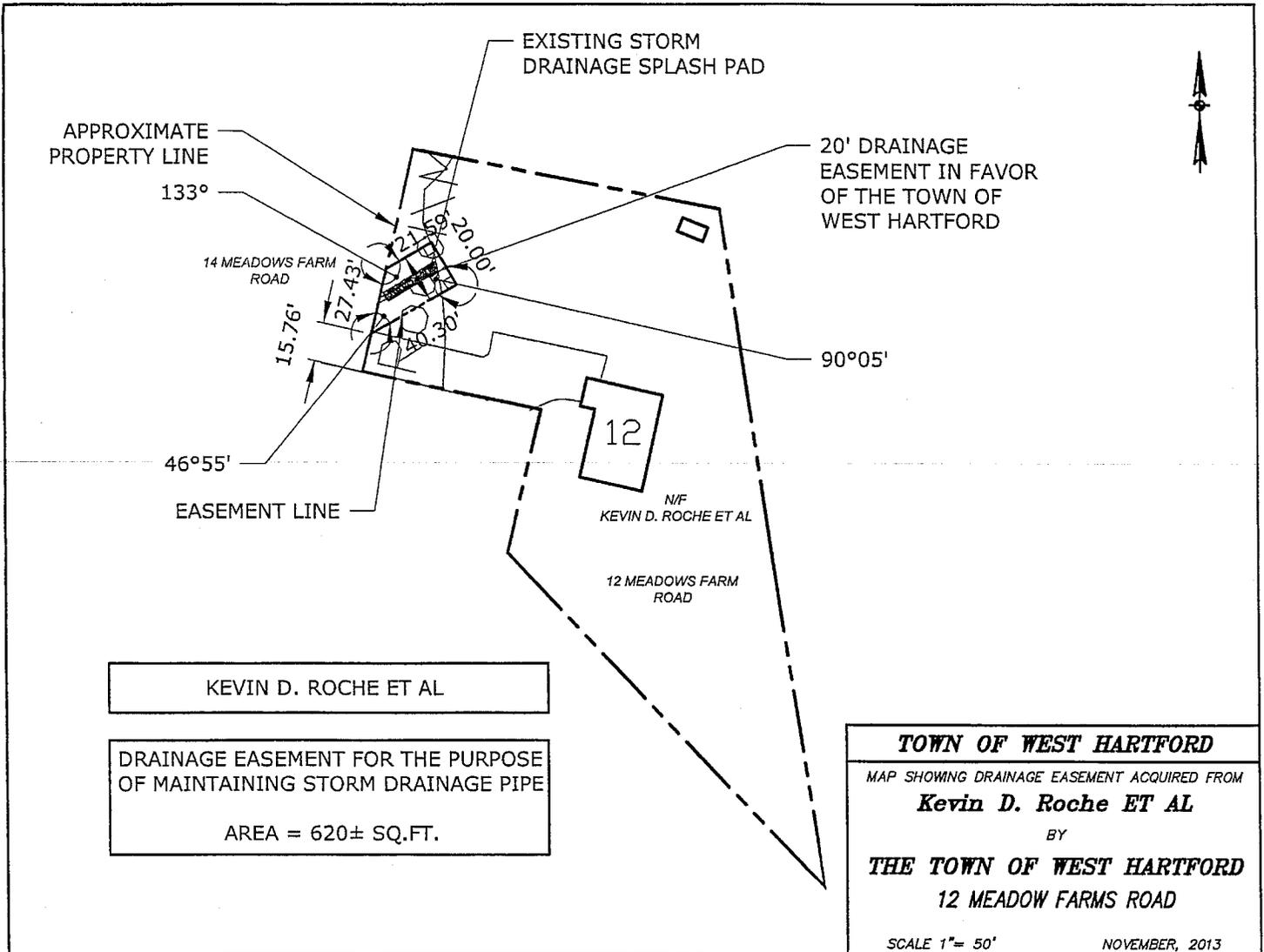
COUNTY OF HARTFORD )

Personally appeared Ronald F. Van Winkle, Town Manager of the Town of West Hartford, signer and sealer of the foregoing instrument, who, being duly authorized, acknowledged the same to be his free act and deed and the free act and deed of said Town of West Hartford, before me

\_\_\_\_\_  
Notary Public

My Commission expires \_\_\_\_\_

(Seal)



KEVIN D. ROCHE ET AL

DRAINAGE EASEMENT FOR THE PURPOSE  
OF MAINTAINING STORM DRAINAGE PIPE  
AREA = 620± SQ.FT.

**TOWN OF WEST HARTFORD**  
 MAP SHOWING DRAINAGE EASEMENT ACQUIRED FROM  
**Kevin D. Roche ET AL**  
 BY  
**THE TOWN OF WEST HARTFORD**  
 12 MEADOW FARMS ROAD  
 SCALE 1" = 50'                      NOVEMBER, 2013

DEPARTMENT OF  
COMMUNITY SERVICES

April 30, 2015

To: Town Council

From: Todd Dumais, Town Planner **SUBJECT: 7 NORTH MAIN STREET  
SPECIAL DEVELOPMENT DISTRICT ADMINISTRATIVE  
AMENDMENT (SDD #28-R1-15)**

I have received an administrative amendment request from Bret Bowin (Architect) on behalf of Sarjac Partners, LLC, Fringe Hair Works, LLC and Face IT, LLC for revisions to the approved Special Development District plan (SDD #28) located at 7 North Main Street. The request is for minor modifications to site signage and required parking.

Attached are the narrative and supporting plans which further explain the proposal.

The requested modifications fall within the approval powers contained in *Section 177-44C (9)* of the Code of Ordinances. This section allows the Town Planner to approve minor adjustments to limited plan elements of an SDD, in this instance, to *Section 177-44C (9) (c)* the arrangement of parking spaces within a designated area may be adjusted, and the number of required parking spaces (including the mixture of types of spaces required) may be adjusted by up to a cumulative total of 10% of the required number of spaces or 10 spaces, whichever is less and *(f)* the size of signs. It is my opinion that the plan, as modified, is in accordance with the purpose of the original SDD approved by the Town Council.

The purpose of the memo is to notify the Town Council of my intention to approve the requested modifications. This notice of approval is given with the understanding that such action will not be effective until the day following the next regular meeting of the Town Council and that such notice of approval is given 10 days prior to such Council meeting. This matter would therefore appear as a regular agenda item on the Regular Town Council Meeting of *Tuesday, May 12, 2015*. It is understood that the Town Council may reject my approval decision and direct that the modifications requested be considered under the provisions of *Section 177-44C (9)* which would require a complete application for amendment and requisite public hearing.

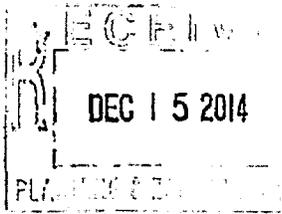
C: Ronald Van Winkle, Town Manager  
Joseph O'Brien, Corporation Counsel  
Mark McGovern, Director of Community Services  
Patrick Alair, Corporation Counsel  
Michael Reiner, Owner  
Brett Bowin, Architect  
Subject SDD File

SD/TPZ SDD NorthMainSt7\_SDD#28\_R1\_15\_May15



TOWN OF WEST HARTFORD  
50 SOUTH MAIN STREET  
WEST HARTFORD, CONNECTICUT 06107-2485  
(860) 561-7555 FAX: (860) 561-7504  
<http://www.westhartford.org>

An Equal Opportunity/Affirmative Action Employer



**URFORM, LLC**  
ARCHITECTURE AND PLANNING  
25 WESTBOROUGH DRIVE  
WEST HARTFORD, CONNECTICUT 06107

TELEPHONE (860) 561-4428  
CELL (860) 922-8999

**BRET RICHARD BOWIN**  
Office: (860) 561-4428  
Email: [bret@ur-form.com](mailto:bret@ur-form.com)

December 15, 2014

Todd Dumais, Town Planner  
Town of West Hartford  
Town Hall  
50 South Main Street  
West Hartford, CT 06107

Re: Administrative Amendment of Special Development District #28, 7 North Main Street, West Hartford, Connecticut, Fringe Hair Works, LLC and Face It, LLC, for signage and a parking agreement.

Dear Todd Dumais:

Application is hereby filed on behalf of Sarjac Partners, LLC, Fringe Hair Works, LLC and Face It, LLC, for an administrative amendment to the existing Special Development District #28 at 7 North Main Street, West Hartford, Connecticut, (the "Property"). This application proposes signage for the two new businesses at 7 North Main Street; Fringe Hair Works, LLC on the main and upper levels and Face It, LLC on the lower level, and a parking agreement with the Town of West Hartford.

Special Development District #28 (see legal description attached as Exhibit A) consists of the property, 7 North Main Street, West Hartford, CT, only.

Allowable Signage per Town Code Chapter 177:

Gross sign area per 177-33, G. (2) (a) [1] [b]: 60 linear feet frontage x 3 = 180 square feet gross 7 North Main sign area.

Freestanding Sign per 177-33, G. (2) (a) [1] [d]: 36 square feet for double-faced sign for the first 100 feet of address street frontage, and for address frontages in excess of 100 linear feet, such freestanding sign area may be increased at a ratio ... of 0.36 square foot per frontage foot

## URFORM, LLC

Members of the West Hartford Town Council  
December 15, 2014

for a double faced sign. 7 North Main street address frontage is 114 linear feet,  $\times 0.36 = 41$  square feet total allowable freestanding sign area. Please see Exhibit C

### Proposed Signage:

Fringe Hair Works and Face It proposed to utilize the existing masonry monument facing North Main Street. The brick masonry monument will be repaired and repointed. Freestanding Sign construction will consist of (4) signs measuring 80" by 18" (10 square feet) each on opposing faces of the existing monument for a total of 40 square feet. Signs will be constructed of high grade plexiglass and will have a 1" standoff from the monument affixed with masonry anchors. Lettering will also consist of high grade plexiglass and affixed to plexiglass with a 1" standoff. Fringe in white letters with a dark smoke plexiglass background and Face It with a translucent white background and deep violet letters. Illuminated with the existing ground lights.

### Building Signage:

Front entablature: Cut 8" plexiglass letters in black affixed to entablature above front columns with screws, 8" x 10' = 7 square feet

West Entry (2) plexiglass with vinyl letter signs on existing sign bracket (rear door) each measuring 24" wide by 12" high. 2' x 2' = 4 square feet.

### Gross sign area proposed:

- 40 square feet on double sided free standing monument
- 11 square feet of building mounted signs
- 51 total square feet of sign are proposed.

See Exhibit B.

### Parking Condition:

The current condition of approval regarding parking at 7 North Main Street, is no longer consistent with the uses at the site. Following discussions with Town staff, the applicant proposes to revise the parking condition of approval (condition 2D(4) of the existing conditions) by deleting the existing condition and replacing it with the following:

The following is agreed upon by The Town of West Hartford and Sarjac Partners, LLC:

- The Town will issue up to 17 monthly parking passes at no charge.
- Cards will be issued to individuals who Sarjac Partners, LLC can designate. Those individuals will be responsible for fees to replace lost cards.

**URFORM, LLC**

Members of the West Hartford Town Council

December 15, 2014

- The Town will also provide 1-hour validated parking for the customers of Fringe Hair Works, LLC and Face It, LLC at no charge. The system will be adjusted to reflect 1-hour free validated parking for those stamps.
- Parking on the 7 North Main Street site can be limited to use by tenants' customers during business hours (as was the case with LOL Club) according to the approved plan, but the public may park there during other hours and the Town has the right to collect revenue from the spaces other than validated parking.

The owner has consented to the filing of this Application by signing a letter of participation which is attached to this application as Exhibit D, as well as the Affidavit of Interest, which is attached hereto as Exhibit E.

Very truly yours,



Bret Bowin, Architect  
UrFoRm, LLC

## Sign Plans 7 North Main Street

**FRINGE**  
HAIR WORKS  
*Medical Aesthetics & Spa*  
**Face It**



### Work

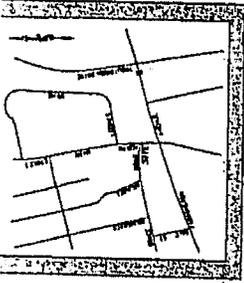
Sign construction will consist of 4 signs measuring 80" by 18" Each on opposing faces of the existing monument located at 7 North Main. Signs will be constructed of high grade plexiglass and will have a 1" standoff from the monument affixed with masonry anchors. Lettering will also consist of high grade plexiglass and affixed to plexiglass with a 1" standoff. Fringe in White letters with a dark smoke plexiglass background and Face it With a Translucent white Background and deep violet letters. Illuminated with the existing ground lights. Cut 8" Plexiglass letters in black affixed to placket area above front columns with screws. 2 Plexiglass with vinyl letter signs on existing sign bracket (rear door) each Measuring 24" Wide by 12" high.

PS-1

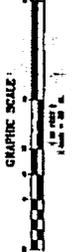
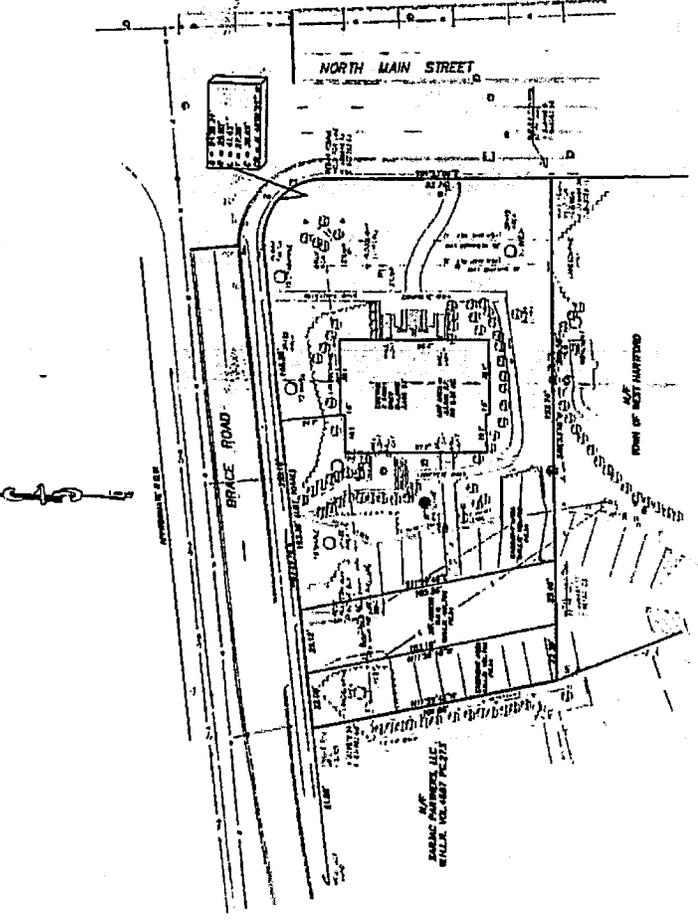
PROPERTY MAPS  
SARAC PARTNERS, LLC  
7 NORTH MAIN STREET  
WEST HARTFORD, CONNECTICUT

DATE	04-23-12
DRAWN BY	DAW
CHECKED BY	DAW
DATE	04-23-12
PROJECT	7 NORTH MAIN STREET
SCALE	AS SHOWN
DATE	
BY	
DATE	
BY	

F.A. Henkle & Associates, Inc.  
A Company of Land and Survey, Inc.  
1000 Main Street, West Hartford, CT 06107  
Tel: 860-512-1111 Fax: 860-512-1112  
www.fahenkle.com



THIS MAP IS A PROPERTY MAP OF THE PROPERTY DESCRIBED IN THE ATTACHED INSTRUMENT. IT IS NOT A SURVEY MAP AND DOES NOT SHOW THE EXACT BOUNDARIES OF THE PROPERTY. THE BOUNDARIES SHOWN ON THIS MAP ARE BASED ON THE INSTRUMENT AND SHOULD NOT BE USED TO DETERMINE THE EXACT BOUNDARIES OF THE PROPERTY. THE INSTRUMENT SHOULD BE REFERRED TO FOR A COMPLETE DESCRIPTION OF THE PROPERTY AND THE INSTRUMENT SHOULD BE FILED WITH THE DEED RECORDS OF THE STATE OF CONNECTICUT.



NO.	DESCRIPTION
1	AS SHOWN
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PROPERTY MAPS  
SARAC PARTNERS, LLC  
7 NORTH MAIN STREET  
WEST HARTFORD, CONNECTICUT

## SCHEDULE A

A certain piece or parcel of land with the buildings and improvements thereon, situated in the Town of West Hartford, County of Hartford, State of Connecticut, known as 7 North Main Street more particularly bounded and described as follows:

Beginning at a merestone set in the south street line of Brace Road at the northeast corner of property known as Firehouse No. 2 Town of West Hartford which also marks the northwest corner of the property herein described.

Thence N63°-29'-16"E along the south street line of Brace Road a distance of one hundred ninety-three and thirty-eight one hundredths feet (193.38') to a point of curvature.

Thence easterly and southerly along a curve to the right having a radius of 25.00' and an arc distance of forty-one and forty-three one hundredths feet (41.43') to a point of tangency.

Thence S1°-23'-06"E along the west street line of North Main Street a distance of ninety-two and seventy-four one hundredths feet (92.74') to a point of curvature which point marks the northeast corner of property of the Town of West Hartford.

Thence S88°-53'-16"W along property of the Town of West Hartford a distance of two hundred one and fifty one hundredths feet (201.50') to a point.

Thence N11°-59'-48"W along other property of the Town of West Hartford a distance of one hundred one and five one hundredths feet (101.05') to the point and place of beginning.

Being the same premises shown on that certain map or plan entitled "MORTGAGE SURVEY FOR JOHN C. WILSON III & HARTFORD NATIONAL BANK AND TRUST COMPANY PIONEER NATIONAL TITLE INSURANCE COMPANY 7 NORTH MAIN STREET WEST HARTFORD, CONNECTICUT DATE: 2/21/82 JOB NO. S211 SCALE: 1" = 20' SHEET NO. 1 F A Hesketh & Associates 101 Hillbrook Common Bloomfield, CT 06002"

Together with all the right, title and interest in the leasehold estate and interest granted to John C. Wilson, III by the Town of West Hartford in a lease dated December 31, 1981, recorded in Volume 799 at Page 28, amended March 24, 1982, together with all renewals, modifications and extensions thereof and all credits, deposits and options, privileges, rights of renewal and other rights of the tenant thereunder. \*\*

Said premises are conveyed subject to taxes on the List of October 1, 2000 which taxes the Grantee herein assumes and agrees to pay as part consideration for this deed.

\*\* Said Amendment to Lease was dated and recorded March 24, 1982, and was again recorded on September 16, 1982, correcting a prior omission.



Project: 7 NORTH MAIN STREET  
 West Hartford, CT 06107

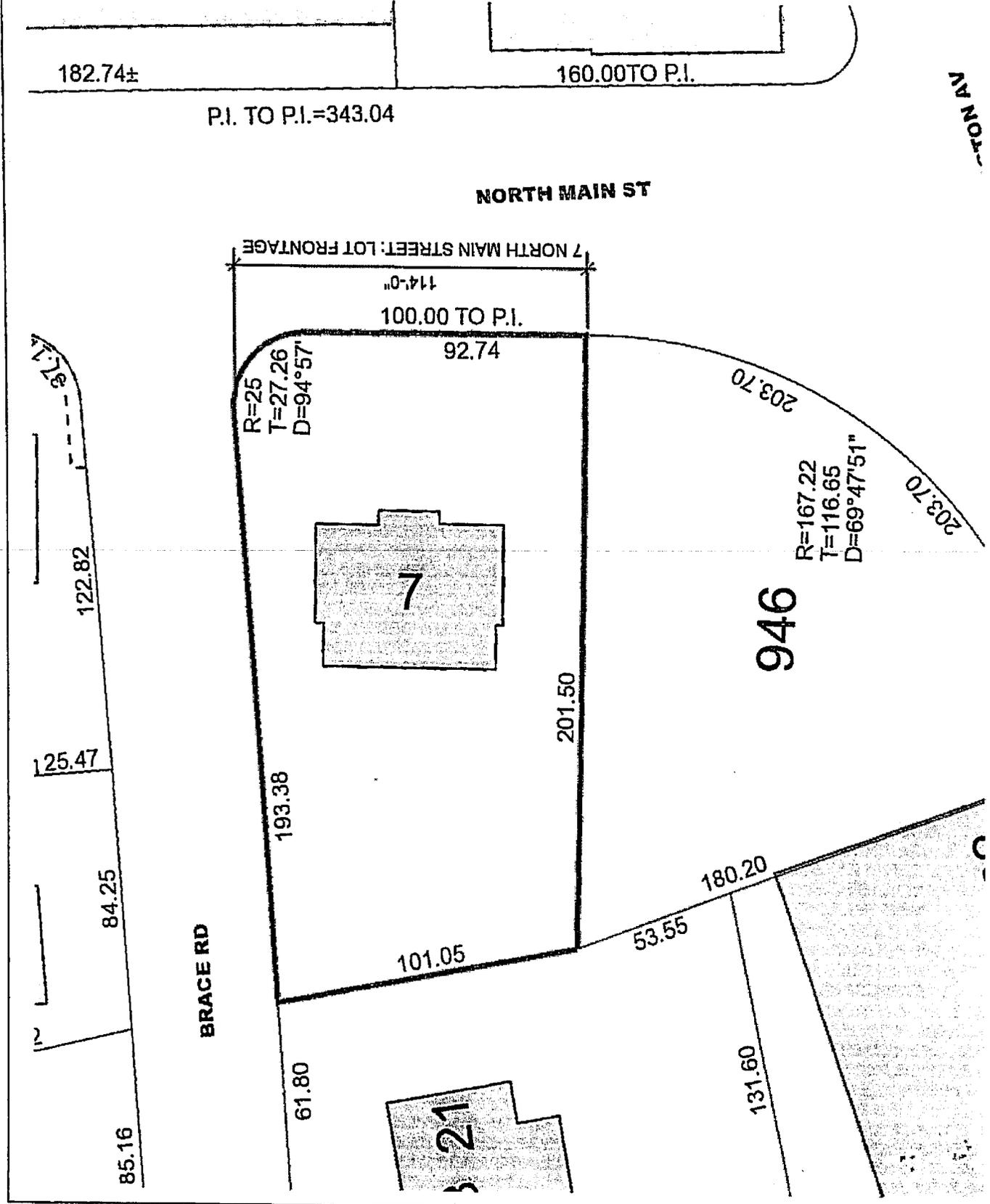
7 NORTH MAIN STREET  
 LOT FRONTAGE FOR  
 FREESTANDING SIGN  
 AREA CALCULATION  
 12/11/2014  
 Drawn Set No. 1  
 Date:

Scale: 1" = 40 ft

**G.I.S. PLOT PLAN**

1

**EXHIBIT C**



**SARJAC PARTNERS, LLC**

11 TALCOTT NOTCH ROAD  
FARMINGTON, CT 06032  
(860) 985-9576

Exhibit D

December 15, 2014

Todd Dumais, Town Planner  
Town of West Hartford  
Town Hall  
50 South Main Street  
West Hartford, CT 06107

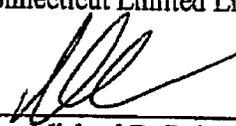
Re: Administrative Amendment of Special Development District #28, 7 North Main Street, West Hartford, Connecticut, Fringe Hair Works, LLC and Face It, LLC, for signage and a parking agreement.

Dear Mayor Slifka and Honorable Members of the Town Council:

Sarjac Partners, LLC is the owner of the building at 7 North Main Street, West Hartford, Connecticut. The property is the subject of the above-referenced application to amend Special Development District #28. This application proposes signage for the two new businesses at 7 North Main Street; Fringe Hair Works, LLC on the main and upper levels and Face It, LLC on the lower level. The undersigned certifies that it is participating in the improvements to its building and signage, and does not have an objection to the application.

Respectfully Submitted,

Sarjac Partners, LLC  
A Connecticut Limited Liability Company

By: 

Michael D. Reiner, Manager

**SARJAC PARTNERS, LLC**

11 TALCOTT NOTCH ROAD  
FARMINGTON, CT 06032  
(860) 985-9576

**Exhibit E**

December 15, 2014

Todd Dumais, Town Planner  
Town of West Hartford  
Town Hall  
50 South Main Street  
West Hartford, CT 06107

Re: Administrative Amendment of Special Development District #28, 7 North Main Street, West Hartford, Connecticut, Fringe Hair Works, LLC and Face It, LLC, for signage and a parking agreement.

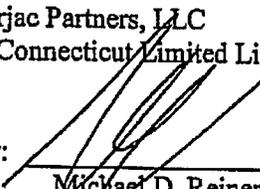
Dear Mayor Slifka and Honorable Members of the Town Council:

This letter shall certify that Sarjac Partners, LLC is the sole owner of 7 North Main Street, West Hartford, Connecticut.

Respectfully Submitted,

Sarjac Partners, LLC  
A Connecticut Limited Liability Company

By:

  
\_\_\_\_\_  
Michael D. Reiner, Manager

Attachment D

DEPARTMENT OF  
COMMUNITY SERVICES  
April 30, 2015

To: Town Council

From: Todd Dumais, Town Planner 

**SUBJECT: 65 MEMORIAL ROAD  
SPECIAL DEVELOPMENT DISTRICT ADMINISTRATIVE  
AMENDMENT (SDD #113-R1-15)**

I have received an administrative amendment request from Attorney Gregory Piecuch, on behalf of SOF-IX Blueback Square Holdings for revisions to the approved Special Development District plan (SDD #113) located at 65 Memorial Road. The request is for minor modifications to the approved parking, the creation of a new on-street loading area and for minor modifications to the landscaping and landscape amenities.

Attached are a narrative and supporting plans which further explain the proposal.

The requested modifications fall within the approval powers contained in *Section 177-44C (9)* of the Code of Ordinances. This section allows the Town Planner to approve minor adjustments to limited plan elements of an SDD, in this instance, to *Section 177-44C (9)(b)* The type, size, number and location of plantings required for landscaping purposes (but not those required for screening from adjacent residential areas) may be adjusted by the substitution of other plantings in the same class (deciduous or nondeciduous); by plantings whose size differs by up to 10% of that required by the SDD ordinance; and by locating plantings within a radius of 50 feet from a site specified in the SDD ordinance and *Section 177-44C (9)(c)* the arrangement of parking spaces within a designated area may be adjusted, and the number of required parking spaces (including the mixture of types of spaces required) may be adjusted by up to a cumulative total of 10% of the required number of spaces or 10 spaces, whichever is less. It is my opinion that the plan, as modified, is in accordance with the purpose of the original SDD approved by the Town Council.

The purpose of the memo is to notify the Town Council of my intention to approve the requested modifications. This notice of approval is given with the understanding that such action will not be effective until the day following the next regular meeting of the Town Council and that such notice of approval is given 10 days prior to such Council meeting. This matter would therefore appear as a regular agenda item on the Regular Town Council Meeting, *Tuesday, May 12, 2015*. It is understood that the Town Council may reject my approval decision and direct that the modifications requested be considered under the provisions of *Section 177-44C (9)* which would require a complete application for amendment and requisite public hearing.

C: Ronald Van Winkle, Town Manager  
Joseph O'Brien, Corporation Counsel  
Mark McGovern, Director of Community Services  
Patrick Alair, Corporation Counsel  
Gregory Piecuch, Attorney  
Subject SDD File



TOWN OF WEST HARTFORD  
50 SOUTH MAIN STREET  
WEST HARTFORD, CONNECTICUT 06107-2485  
(860) 561-7555 FAX: (860) 561-7504  
<http://www.westhartford.org>

An Equal Opportunity/Affirmative Action Employer



**KROLL MCNAMARA EVANS & DELEHANTY LLP**  
ATTORNEYS AT LAW

May 1, 2015

VIA HAND DELIVERY

Todd Dumais, Town Planner  
West Hartford Town Hall  
50 South Main Street  
West Hartford, Connecticut, 06107

**Re: Amendment to Special Development District #113  
Blue Back Square, West Hartford**

Dear Mr. Dumais:

Please accept this Application filed on behalf of SOF-IX BLUEBACK SQUARE HOLDINGS, L.P. (“Starwood”). Starwood is the owner of certain commercial property commonly known as “Blue Back Square” (the “Premises”), which Premises consist of Special Development District (“SDD”) #113. Blue Back Square is managed by Starwood Retail Partners. This letter comprises Starwood’s application to amend the plans and conditions of approval for SDD #113. As further described herein, this application seeks three specific changes to the existing plans and conditions of approval. These changes will enable Starwood to repurpose and re-let the former Ann Taylor space to a new anchor tenant. To that end, Starwood is requesting the following amendments:

1. Streetscape changes to permit a new short-term customer pick-up/drop-off space on the west side of Isham Road between Memorial Road and the Memorial Garage as shown on the attached plans;
2. Permission to lease two spaces within the Memorial Garage and to reserve such spaces for use by one of Starwood’s tenants (*i.e.*, West Elm); and
3. Approval to use approximately 2,025 square feet in Spaces C11 & C15 as “back room” storage as an accessory use to retail operations in Spaces D40/D50/D60.

Background

As noted in the Town’s Plan of Conservation and Development, “Blue Back Square augments West Hartford Center with its combination of residential, retail, office and mixed-use areas for private and public enjoyment. The development...embraces the character of the existing West Hartford Center with its wide treed sidewalks, varied shopping and eating establishments, professional office space and a de-emphasis on large surface parking lots.... Blue Back Square is designed as a strong, vibrant pedestrian-oriented development with a mix of uses and public space amenities. The development emphasizes large on street trees. This project embraces the primary principles of Smart Growth and continues to enhance West Hartford’s special sense of place.”

65 MEMORIAL ROAD • SUITE 300 • WEST HARTFORD, CONNECTICUT 06107 • (860) 561-7070 • FACSIMILE (860) 561-7075  
TEN POST OFFICE SQUARE • 8TH FLOOR • BOSTON, MASSACHUSETTS 02109 • (617) 336-3260 • FACSIMILE (617) 336-3265

**PLEASE REPLY TO WEST HARTFORD ADDRESS**

WWW.KMELAW.COM

As with any mixed-use development, Blue Back Square experiences transition over time. In terms of restaurants, it is exciting to see the great early success for World of Beer and we look forward to the same for Posh Tomato. On the retail front, new opportunities abound as well, including for the former Ann Taylor space. Starwood has finalized a lease with West Elm, a home furnishings store that is a member of the Williams-Sonoma portfolio of brands. However, West Elm's needs are greater than that of Ann Taylor, both in terms of gross leasable area, as well as from an operational perspective. In proposing the above SDD amendments, Starwood has strived to solve these challenges while holding true to the overriding vision of Blue Back Square and the intent of the SDD: to enhance a vibrant streetscape, to offer varied shopping and dining options, to maintain walkability, and to provide a mix of uses and public spaces. The three specific amendments are discussed separately in further detail below.

#### Amendment #1: Streetscape Modifications

The first proposed amendment calls for a new undedicated short-term loading/unloading area on Isham Road directly south of Memorial Road. This is one of the few areas within Blue Back Square that has no on-street parking whatsoever. That being said, the distance from curb to curb is approximately 36 feet, as is the case in other areas of the Premises. As currently built, the roadway can thus accommodate two travel lanes plus two lanes of parallel parking. As such, there is no need to move the curb, alter the sidewalks, or modify the sidewalk planting beds.

In terms of traffic flow, the new loading area has been sited to maximize its distance from the roundabout and the Memorial Garage, thereby minimizing congestion concerns as much as possible. The loading area will be approached from the north. Because it is intended for a single vehicle, drivers can proceed forward into the space without having to back up. After the merchandise is loaded or unloaded, the driver can pull forward south, circle the roundabout, and exit. This area will be signed as shown in Sign Details A-C. Parking will be limited to 15 minutes, and a "No Parking" sign will make clear that the area south of the new loading area must remain clear of vehicles.

The only major modification will be to shorten the center median by about 28 feet. As shown on Sheet A-1 of the Landlord Site Work plan, a light pole and existing signage will be shifted south as part of this change. *See*, Attachment (a). *See also*, Attachment (d), Sheet 25.00S (Overall Lighting Plan). In addition, there are two tree clusters and other smaller plantings that will be affected. Starwood is aware that the administrative approval process requires these plantings to be relocated and not eliminated. Fortunately, there is sufficient area in the vicinity to accommodate them. The landscape changes were prepared by Langan and are detailed on Sheet 24.04 (Landscape Plan Detailed Blow Up). *See*, Attachment (d).

By not eliminating the northerly center median in its entirety, a pedestrian refuge area will be maintained at the midway point of the existing crosswalk. *See*, Attachment (d), Sheet 20.10 (Site Layout Plan). The bituminous pavement will remain, and a striped area will be painted similar to the loading area on Raymond Road. *See*, Attachment (d), Sheet 20.07 (Site Layout Plan).

Amendment #2: Reserved Garage Parking

West Elm sought four (4) dedicated parking spaces for its pick-up/drop-off operations. After negotiations, West Elm has agreed to only two (2) such spaces in addition to non-exclusive use of the on-street short term loading area. As such, Starwood seeks to pay the Parking Division the standard monthly garage parking rate to rent two spaces inside the Memorial Garage in the location shown on Sheet T-1 of the attached Landlord Site Work plan. *See*, Attachment (a). These spaces will be individually signed for West Elm as depicted in Sign Detail D of that plan. Goods will be moved to these parking spaces as shown on the operations detail on Sheet A-004. *See*, Attachment (b). Starwood greatly appreciates town staff's help in crafting this parking plan.

Amendment #3: Accessory Back-Room Storage

Starwood's biggest challenge with this project is that different retailers have different needs. Though both companies engage in "retail" use, the needs of West Elm and Ann Taylor vary in two important ways. For one, the type of goods being sold affects the required leasable area. Using Blue Back Square as a reference, clothiers such as Ann Taylor (4,519 s.f.), Lucy (1,954 s.f.) and White House | Black Market (3,870 s.f.) generally have a smaller inventory and vastly less "back of house" needs as compared to stores like Crate & Barrel (12,784 s.f.) and R.E.I. (25,773 s.f.). West Elm falls into the latter category, and assembling a space to fit its needs has taken a significant amount of effort.

In this case, the former Ann Taylor space (Space D50) was about 4,500 square feet. However, West Elm requires more than double that. Fortunately, two adjacent spaces are currently vacant: the former jewelry store (Space D40) consisting of 1,000 square feet and the former yoga space (Space D60) at 1,811 square feet. Taken together, these three spaces are 7,330 square feet which satisfies West Elm's front-of-house needs, but which does not provide enough stock room space. Thus, Starwood proposes a narrow amendment to the use restrictions of SDD # 113 to use approximately 2,025 square feet of Spaces C11 & C15 as "back room" storage as an accessory use to retail operations in Spaces D40/D50/D60. This use amendment will be limited to Spaces C11/C15, and is detailed on the Use Plan filed herewith. *See*, Attachment (c) (amending Sheet A-103.1).

There will be minimal changes to the façade of the C Building space. Specifically, the two existing single doors into the space will be replaced with matching windows, and a new double door will be added on the southerly side of the space. The existing green tile façade treatment will remain, with additional tile and stone base infilled to match. This is depicted in the façade details. *See*, Attachment (e). All eight window panes will have display boxes to maintain the "look and feel" of a retail storefront. Inasmuch as there would be no active retail in Spaces C11/C15, there will not be any tenant signage on this part of the Building. As for the façade of the D Building, a storefront rendering and elevations are filed herewith. *See*, Attachment (f). The final material choice is an aluminum plate cladding rather than rolled steel, but otherwise the design treatment is the same. Specific materials are shown on the Finish Sample Board filed herewith. *See*, Attachment (g). Starwood understands the review and approval of all signage is subject to a separate application, if this SDD amendment is granted.

Starwood did explore alternatives to the requested amendment. These alternatives would have maintained a fully-contiguous leasable area, thereby negating the need for a use amendment. Such a proposal would have been accomplished by absorbing Space D30 and D35 into the West Elm space. However, this was rejected for a few reasons. First and foremost, it would have eliminated two more storefronts on Memorial Road. This street is the main thoroughfare through Blue Back Square. To reduce this block to only three storefronts—Rizzuto’s, Kennedy’s and West Elm—would have negatively impacted the streetscape, particularly because the opposite side of the street has no store fronts; only the Crate & Barrel loading area. Second, the “hidden” storefronts on Isham Road (Spaces D60, C11 & C15) have proven difficult to keep leased. The reasons for this are not entirely clear, but Spaces D60 and C15 cannot be seen from Memorial Road. Moreover, it appears that shoppers who park in the Memorial Garage tend to exit onto the street through the lobby of the Lexicon Building, thus bypassing this area by foot. And although the “Blo” salon in space C11 does have a sign visible from Memorial Road, they are seeking to be relocated to the front portion of Space C30. On balance, therefore, Starwood believes the placement of West Elm’s “back room” storage in Spaces C11/C15 is the best overall use of the site.

Proposed Findings:

These three proposed amendments to SDD #113, as aforesaid, are deemed appropriate for the following reasons:

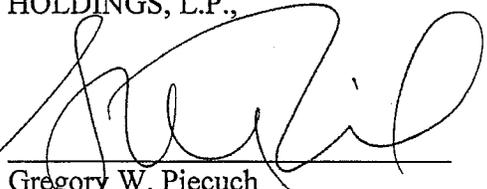
1. The streetscape modifications and use amendments will add vitality to Blue Back Square and is compatible with the approved plans for SDD #113, and will facilitate private enterprise, investment and other economic activity;
2. The flexibility in tenant options afforded by this amendment will promote a beneficial relationship between Blue Back Square and surrounding residential and retail areas, as existing conditions and trends in modes of living support the desirability of such an option;
3. The proposed amendment is superior to a plan possible under the regular standards of Chapter 177 as it accords the variety and flexibility that is the guiding hallmark of and purpose for the special development district provisions codified at Regulation §177-44, with no reason to believe that there will be a negative impact on the community;
4. The uses proposed in this amendment are compatible with uses in and the development of the other mixed use properties in the surrounding BC and CBDH zones and West Hartford Center in general, and will not render the approved SDD #113 plans incompatible with adjacent residential properties;
5. The proposed amendment does not adversely affect the total density of development already approved for the Premises; and
6. The proposed amendment is in compliance with the goals and objectives of the West Hartford Plan of Conservation and Development.

Amendment to Special Development District # 113  
Blue Back Square  
May 1, 2015

It is respectfully requested that this Application be administratively approved and placed on the agenda for review and approval at the next meeting of the Town Council.

Very truly yours,

SOF-IX BLUEBACK SQUARE  
HOLDINGS, L.P.,

By: 

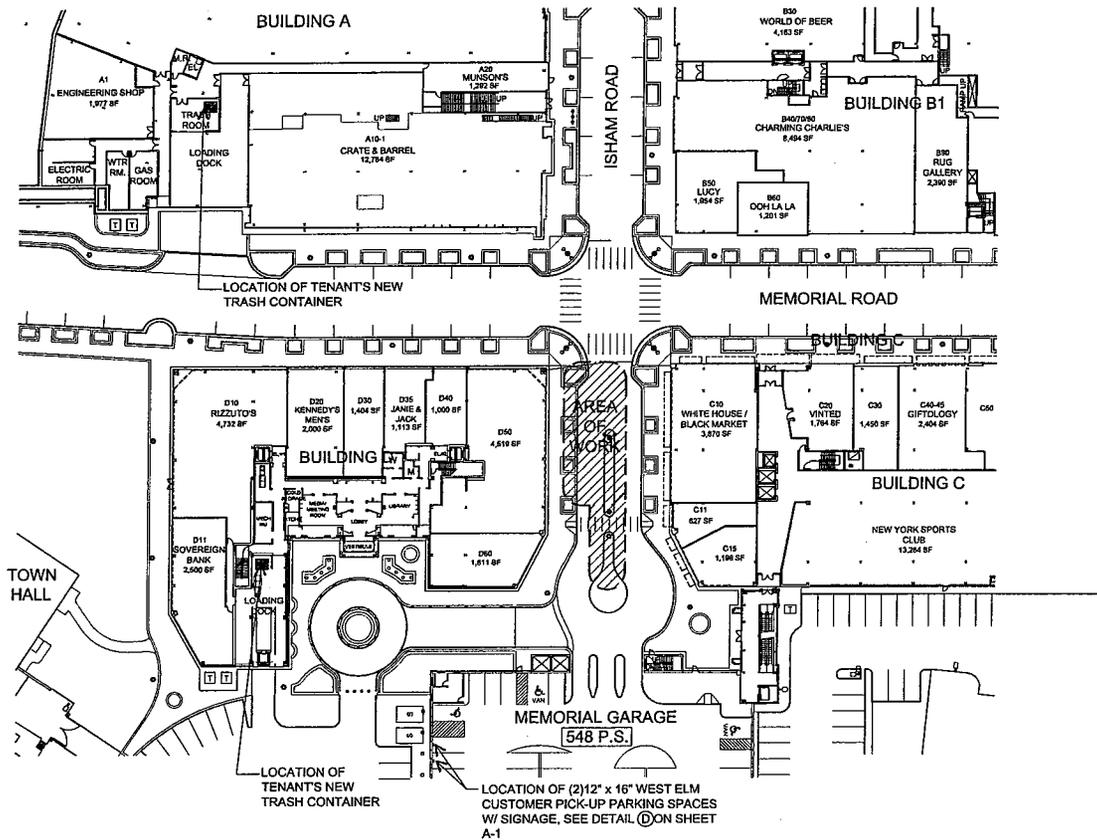
Gregory W. Piecuch  
Kroll, McNamara, Evans & Delehanty, LLP  
Its attorneys

List of Attachments:

- (a) Planset entitled "Landlord Site Work for Blue Back Square" (Sheets T-1, A-1, A-2)
- (b) Operations Plan (Sheet A-004)
- (c) Use Plan entitled "Buildings C & D Ground Level Plan (Amendment to Sheet A-103.1)"
- (d) Amended Planset (Compilation Fig. 1 & Sheets 20.00S, 20.07, 20.10, 24.04, 25.00S)
- (e) Building C Façade Detail
- (f) Building D Façade Detail
- (g) Finish Sample Board (Sheet MSB-1)
- (h) Application Fee of \$810.00

# LANDLORD SITE WORK FOR BLUE BACK SQUARE

## ISHAM ROAD PARKING / ISLAND IMPROVEMENTS WEST HARTFORD, CT



**SITE PLAN**  
SCALE: 1/32" = 1'-0"

DRAWING INDEX	
T-1	DRAWING INDEX, CODE REVIEW, OVERALL LOCATION PLAN
A-1	SITE PLAN, DETAILS, SPECIFICATIONS,
A-2	ASPHALT SPECIFICATIONS

CODE REVIEW	
<b>CODE INFORMATION:</b>	
CODE:	2005 STATE OF CONNECTICUT BASIC BUILDING CODE w/ 2013 AMENDMENTS
USE GROUP:	V - MERCHANDISE
TYPE OF CONSTRUCTION:	III-B
FULLY SPRINKLED	
AREA OF SITE WORK IMPROVEMENTS:	2,670sf
<b>TENANT AREAS:</b>	
EXISTING TENANT AREA B-40:	1,020sf
EXISTING TENANT AREA B-50:	4,519sf
EXISTING TENANT AREA B-60:	1,211sf
PROPOSED TENANT AREA B-40,50,60:	7,330sf
<b>OCCUPANCY:</b>	
TO BE DETERMINED BY FUTURE TENANTS	

SCOPE OF WORK:	
- NEW PICK-UP & DROP-OFF AREAS AS DESIGNED	
- ALL ADDITIONAL WORK TO BE PERFORMED BY TENANT. TENANT SHALL SUBMIT DRAWINGS FOR APPROVAL TO ALL LOCAL AGENCIES.	

REV.	DATE
	03.11.2018

**Designer:**  
Leon Sampot  
22092 Lorain Road  
Fairview Park, CT 04126  
P: 216-403-9831  
F: 416-719-0837

**DAVID A UDKOW ARCHITECT**  
11881 N 113th WAY  
SCOTTSDALE, AZ 85259  
T: 480 614 3383 F: 480 614 0209  
Email: david@udkowarchitect.com

LANDLORD SITE WORK FOR  
BLUE BACK SQUARE  
ISHAM ROAD PARKING / ISLAND IMPROVEMENTS  
WEST HARTFORD, CT

JOB NO: 15-007

DATE: 03.02.2018

ISSUE:

SHEET:

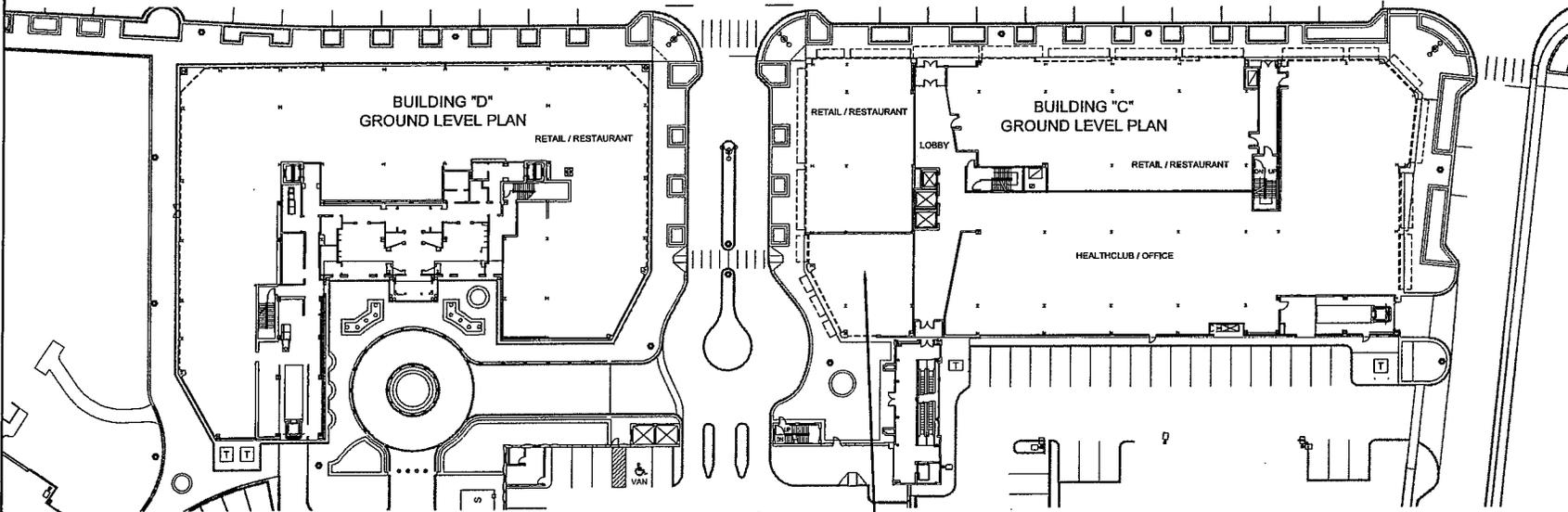
**T-1**







Drawing: S:\Starwood Retail Partners\TENANT COORDINATION\Blue Back Square\_ West Hartford CT\CAD DRAWINGS\02\_BLU MSC\BLU\Courts\Submittal\_2015-04-29.dwg; Layout: Lease Plan.1 11x17\_May 01, 2015, 8:41am



Mail Address:  
**BLUE BACK SQUARE**  
65 Memorial Road  
West Hartford, CT 06107  
Phone: (860) 882-0678

**Note:**  
This is a schematic plan only intended to show the general layout of the shopping center or part thereof. All the dimensions shown on this drawing should be field verified.

**BUILDINGS "C" & "D"  
GROUND LEVEL PLAN  
(AMENDMENT TO  
SHEET A-103.1)**

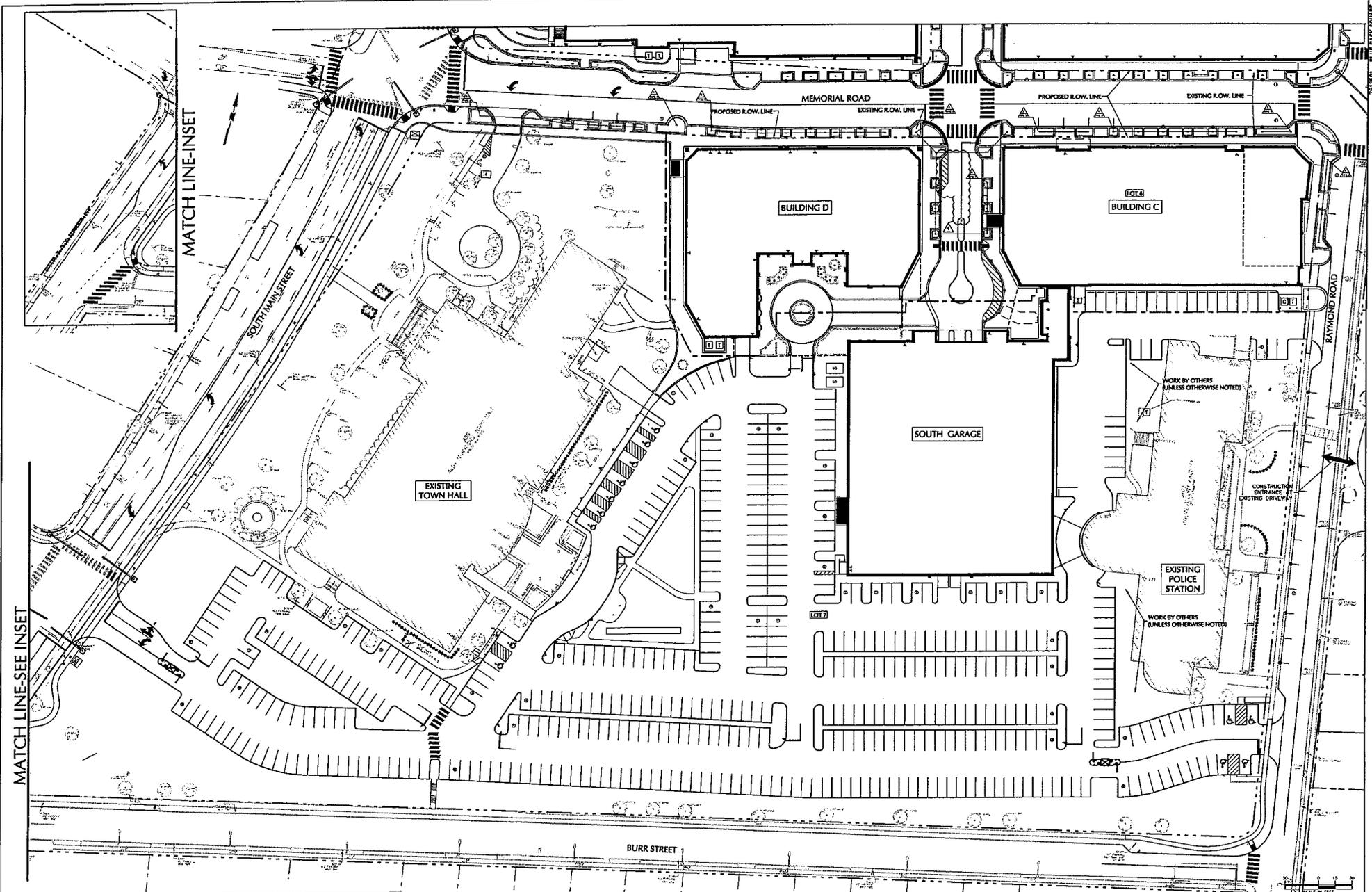
LAST UPDATED: 04.29.15



**STARWOOD RETAIL PARTNERS**  
1 E. Wacker Drive, Suite 3600  
Chicago, IL 60601  
Phone: (312) 242-3200

0 25 50  
SCALE: 1"=50'-0" @ 11x17





REVISIONS REFLECTED ON SHEETS  
20.09 TO 20.19

BUILDING LINES									
EXISTING (PROPOSED)									
LOT	SOUTH MAIN STREET	MEMORIAL ROAD	BURR STREET	RAYMOND ROAD	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11
1	45' (45')	N/A	30' (30')	N/A	N/A	N/A	N/A	N/A	N/A
2	45' (45')	0' (0')	30' (30')	N/A	N/A	N/A	N/A	N/A	N/A
3	N/A	N/A	30' (30')	N/A	N/A	N/A	N/A	N/A	N/A
4	N/A	N/A	30' (30')	30' (30')	N/A	N/A	N/A	N/A	N/A
5	N/A	N/A	30' (30')	30' (30')	N/A	N/A	N/A	N/A	N/A
6	N/A	N/A	30' (30')	30' (30')	N/A	N/A	N/A	N/A	N/A
7	45' (45')	30' (30')	N/A	35' (35')	N/A	N/A	35' (35')	N/A	N/A

SEE SHEET 20.00 FOR  
GENERAL NOTES &  
MASTER LEGEND

Date	Description	No.
5/21/15	APPLICATION AMENDMENT 503 #115	4
4/25/09	BULLETH #1	3
10/25/05	BULLETH #1	2
05/13/05	SITE ADDENDUM #1	1

**LANGAN**  
Engineering & Environmental Services

661 Long Wharf Drive  
West Hartford, CT 06110-4100  
Phone: (203) 464-2771  
Fax: (203) 686-1432  
www.langan.com  
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• Philadelphia, PA  
• Glenview, IL  
• Miami, FL  
• New York, NY  
• Philadelphia, PA  
• Toronto, ON

Project: **blue back SQUARE**  
WEST HARTFORD CONNECTICUT

Drawing Title: **OVERALL SITE LAYOUT PLAN**  
SOUTH CAMPUS  
CONSTRUCTION DRAWINGS

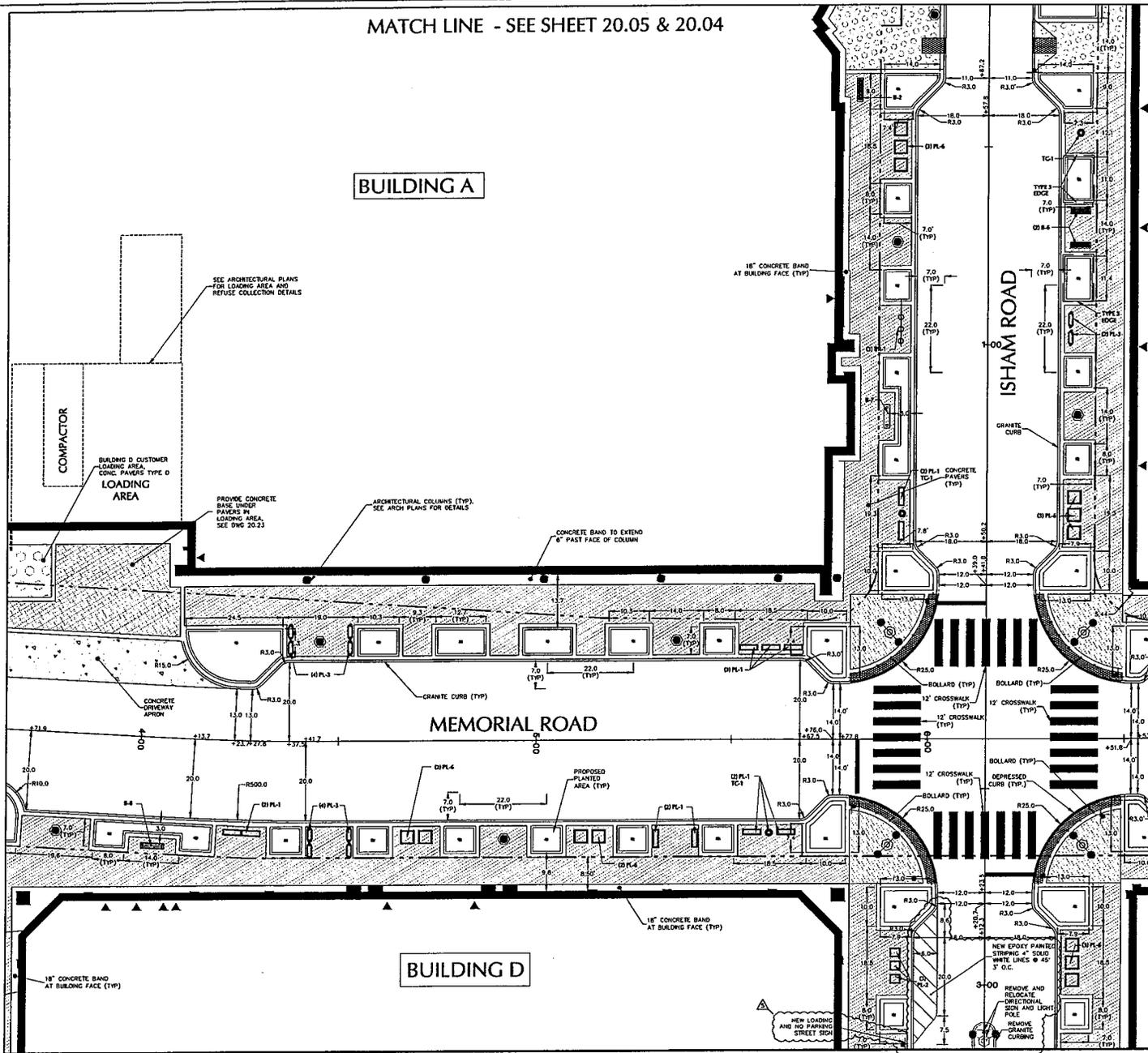
Job No: 7812301  
Date: 03/10/05  
Scale: 1"=30'  
Dwn. By: TSO  
CHKD. By: JGP

Drawing No: **20.00S**

MATCH LINE - SEE SHEET 20.05 & 20.04

BUILDING A

MATCH LINE - SEE SHEET 20.06

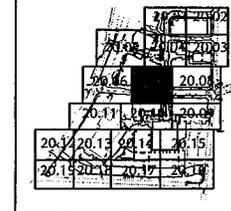


MATCH LINE - SEE SHEET 20.08

**MATERIALS LEGEND**

	PAVER TYPE A - BEACON HILL BLEND, MILLSTONE SQUARES, LARGE & MEDIUM RECTANGLES
	PAVER TYPE B - AUTUMN BLEND, MILLSTONE SQUARES, LARGE & MEDIUM RECTANGLES
	PAVER TYPE C - ENGLISH MOSS, MILLSTONE SQUARES
	PAVER TYPE D - ENGLISH MOSS, MILLSTONE SQUARES (VEHICULAR LOADING)
	PAVER TYPE E - AUTUMN BLEND, BOSTON COLONIAL RECTANGULAR (VEHICULAR LOADING)
	PAVER TYPE F - AUTUMN BLEND, CLASSICO CORBLES
	PAVER TYPE G - TRUNCATED DORIES
	CONCRETE SIDEWALK/PAVEMENT

- GENERAL NOTES**
1. FOR LANDSCAPING INFORMATION SEE DRAWINGS 24.00N THROUGH 24.20S.
  2. FOR LIGHTING DETAILS SEE DRAWINGS 25.00N THROUGH 25.02.
  3. FOR PAVEMENT MARKINGS AND TRAFFIC SIGNAGE INFORMATION SEE DRAWINGS 20.50N AND 20.50S.
  4. FOR THE COMPLETE LIST OF LEGENDS AND SYMBOLS SEE SHEET 20.00.



MATCH LINE - SEE SHEET 20.10



09/01/15	APPLICATION AMENDMENT 500 #113	5
08/18/06	BULLETIN #18	4
07/16/06	BULLETIN #16	3
10/25/03	BULLETIN #1	2
05/13/00	SITE AMENDMENT #1	1
Date	Description	Rev.

**LANGAN**  
 ENGINEERING & ENVIRONMENTAL SERVICES  
 665 Long Wharf Drive  
 West Hartford, CT 06110-4402  
 Phone: (860) 564-5711  
 Fax: (860) 564-5700  
 www.langan.com  
 Copyright 2006 Langan Engineering

Project: **blue back square**  
 WEST HARTFORD CONNECTICUT

Drawing Title: **SITE LAYOUT PLAN**  
 CONSTRUCTION DOCUMENTS

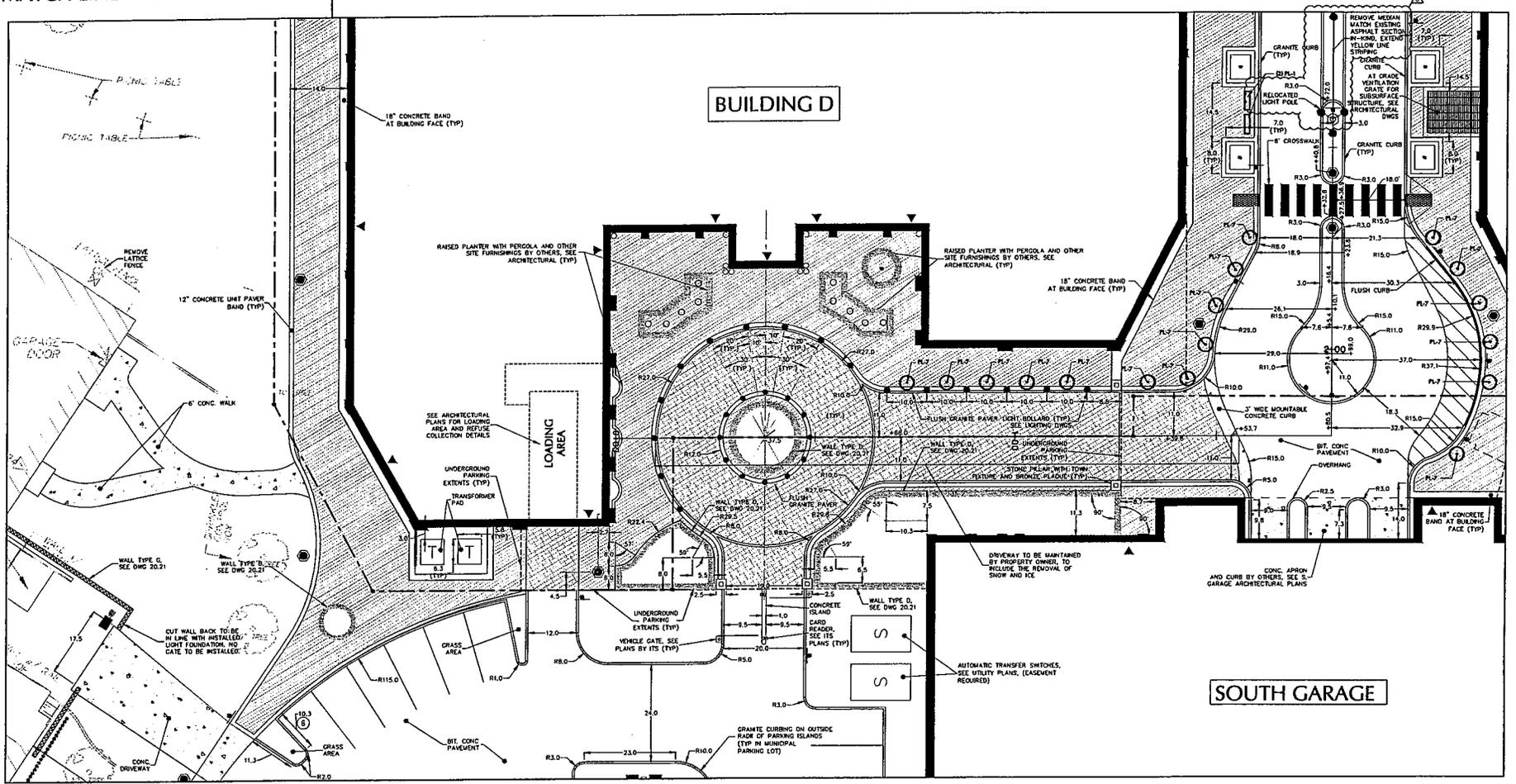
Job No.: 7612501  
 Date: 03/10/05  
 Scale: 1"=10'  
 Drawn By: YSD  
 Checked By: JGP  
 Drawing No.: 20.07

MATCH LINE - SEE SHEET 20.06

MATCH LINE - SEE SHEET 20.07

MATCH LINE - SEE SHEET 20.11

MATCH LINE - SEE SHEET 20.09



MATCH LINE - SEE SHEET 20.14

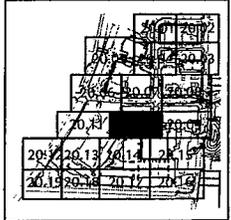
MATCH LINE - SEE SHEET 20.15

**GENERAL NOTES**

1. FOR LANDSCAPING INFORMATION SEE DRAWINGS 24.00N THROUGH 24.20S.
2. FOR LIGHTING DETAILS SEE DRAWINGS 25.00N THROUGH 25.02.
3. FOR PAVEMENT MARKINGS AND TRAFFIC SIGNAGE INFORMATION SEE DRAWINGS 20.50N AND 20.50S.
4. FOR THE COMPLETE LIST OF LEGENDS AND SYMBOLS SEE SHEET 20.00.

**MATERIALS LEGEND**

	PAVER TYPE A- BEACON HILL BLEND, MILLSTONE SQUARES, LARGE & MEDIUM RECTANGLES
	PAVER TYPE B- AUTUMN BLEND, MILLSTONE SQUARES, LARGE & MEDIUM RECTANGLES
	PAVER TYPE C- ENGLISH MOSS, MILLSTONE SQUARES
	PAVER TYPE D- ENGLISH MOSS, MILLSTONE SQUARES (VEHICULAR LOADING)
	PAVER TYPE E- AUTUMN BLEND, BOSTON COLONIAL RECTANGULAR (VEHICULAR LOADING)
	PAVER TYPE F- AUTUMN BLEND, CLASSICO COBBLES
	PAVER TYPE G- TRUNCATED DOMES
	CONCRETE SIDEWALK/PAVEMENT



SCALE IN FEET

Date	Description	No.	Date	Description	No.
05/01/15	APPLICATION AMENDMENT SDD #1	8	05/13/05	SITE ADDENDUM #1	1

**ELANGAN**  
 ENGINEERING & ENVIRONMENTAL SERVICES  
 844 Long Street Drive  
 West Hartford, CT 06110-4407  
 Phone: 860.562.8771  
 Fax: 860.562.8143  
 www.elangan.com  
 Copyright 2005 Elangan Engineering

Project



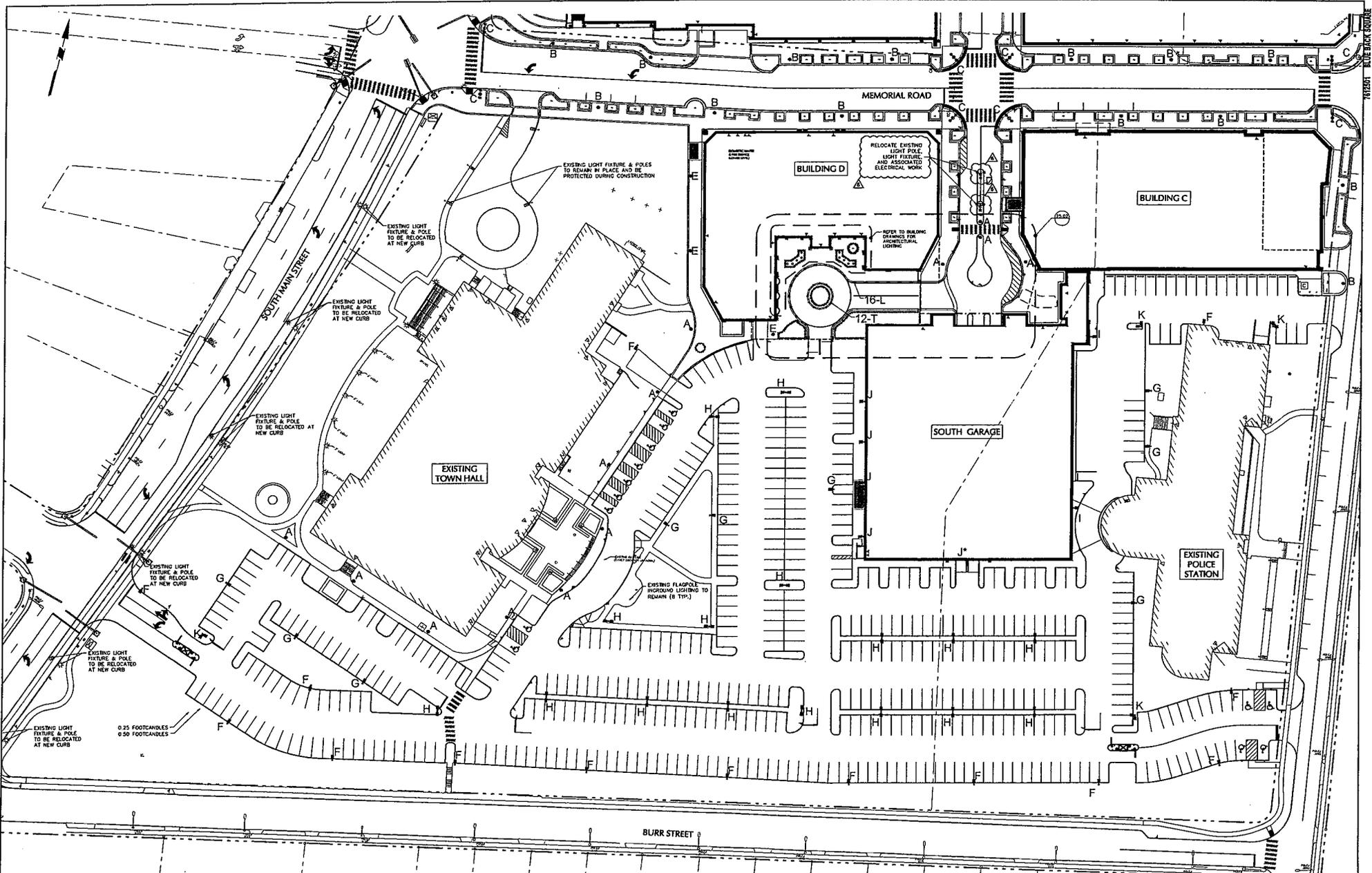
Drawing Title

**SITE LAYOUT PLAN**

CONSTRUCTION DOCUMENTS

No. No.	7812501	Drawing No.	
Date	03/10/05	Scale	1"=10'
Drawn By	TSO	Checked By	gdp
		<b>20.10</b>	





NOTE: REFER TO SHEET 25.03 AND 25.04 FOR LIGHTING SCHEDULE AND NOTES

Date	Description	No.	Date	Description	No.
05/01/15	APPLICATION AMENDMENT 500 #113	6			
05/18/06	BULLETIN #18	5			
05/18/06	BULLETIN #5	4			
01/03/06	BULLETIN #1	3			
10/25/05	BULLETIN #4	2			

**LANGAN**  
ENGINEERING & ENVIRONMENTAL SERVICES

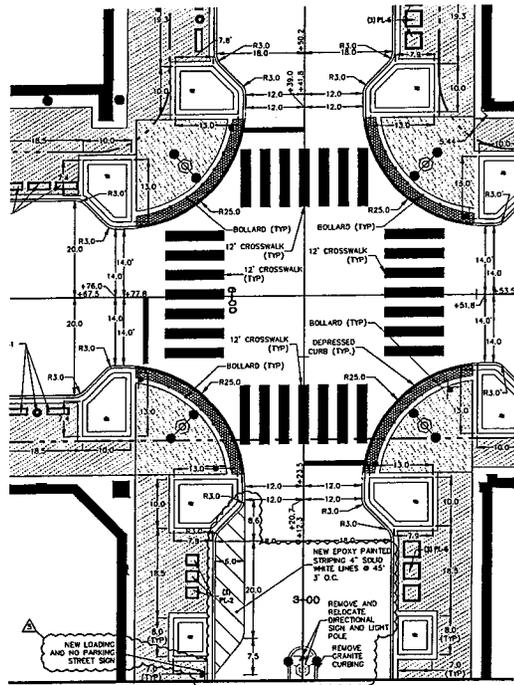
555 Long Wharf Drive  
West Hartford, CT 06110-4402  
Phone: (860) 512-4711  
Fax: (860) 512-4744  
© Copyright 2005 Langan Engineering & Environmental Services, Inc.

Project: **blue back SQUARE**  
WEST HARTFORD CONNECTICUT

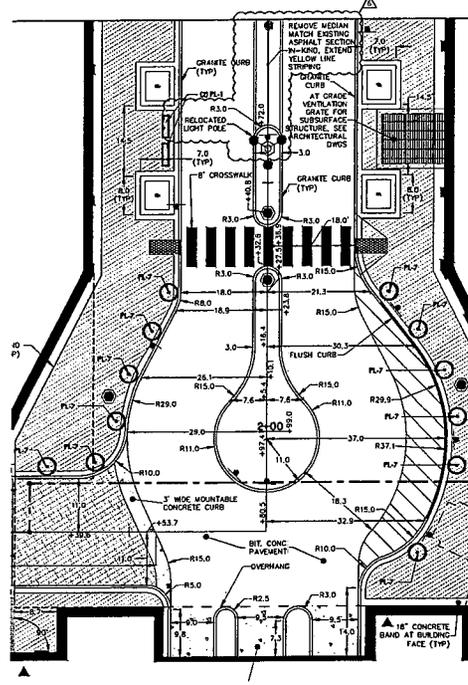
Drawing Title: **OVERALL LIGHTING PLAN CONSTRUCTION DRAWINGS**  
SOUTH CAMPUS

Job No. 7812501  
Date: 03/10/05  
Scale: 1"=30'  
Dwn. By: MR SL  
Ck'd By: JDP

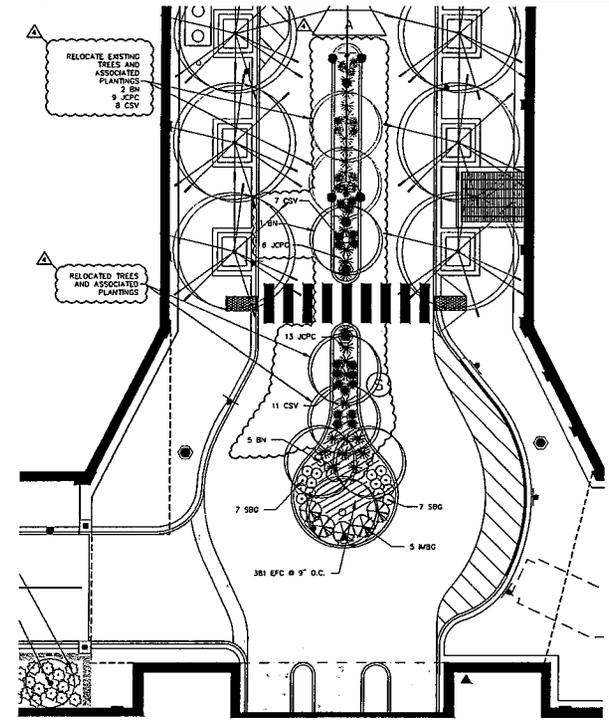
Drawing No. **25.00S**



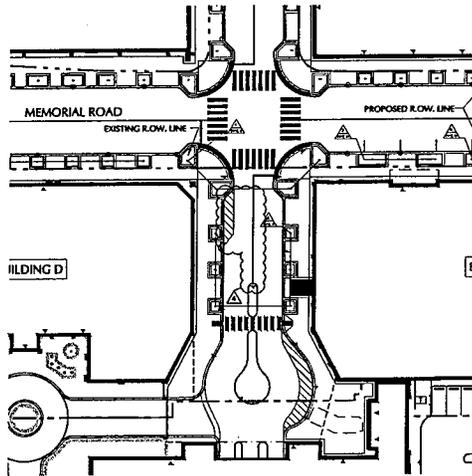
**SITE LAYOUT PLAN (20.07) INSET**  
1"=10'



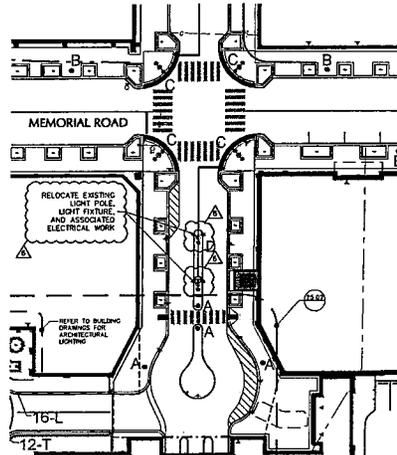
**SITE LAYOUT PLAN (20.10) INSET**  
1"=10'



**LANDSCAPE PLAN DETAILED BLOWUP**  
(24.04) INSET 1"=10'



**OVERALL SITE LAYOUT PLAN**  
(20.00S) INSET 1"=30'



**OVERALL LIGHTING PLAN**  
(25.00S) INSET 1"=30'



NO PARKING  
SIGN DETAIL



LOADING/UNLOADING  
SIGN DETAIL

**NEW SIGN AT ISHAM ROAD  
LOADING AREA (NTS)**

NOTE: THIS PLAN AMENDS THE FOLLOWING SHEETS OF THE BLUE BACK SQUARE CONSTRUCTION DOCUMENT SET DATED 03/10/2005 PREPARED BY LANGAN; OVERALL SITE LAYOUT PLAN (20.00S), SITE LAYOUT PLAN (20.07), SITE LAYOUT PLAN (20.10), LANDSCAPE PLAN DETAILED BLOW UP (24.04), & OVERALL LIGHTING PLAN (25.00S)

Date	Description	No

**LANGAN**  
ENGINEERING & ENVIRONMENTAL SERVICES  
361 Long Wharf Drive  
West Hartford, CT 06110-4450  
Phone: (203) 542-8711  
Fax: (203) 786-4444  
www.langan.com  
Copyright 2004 Langan Engineering

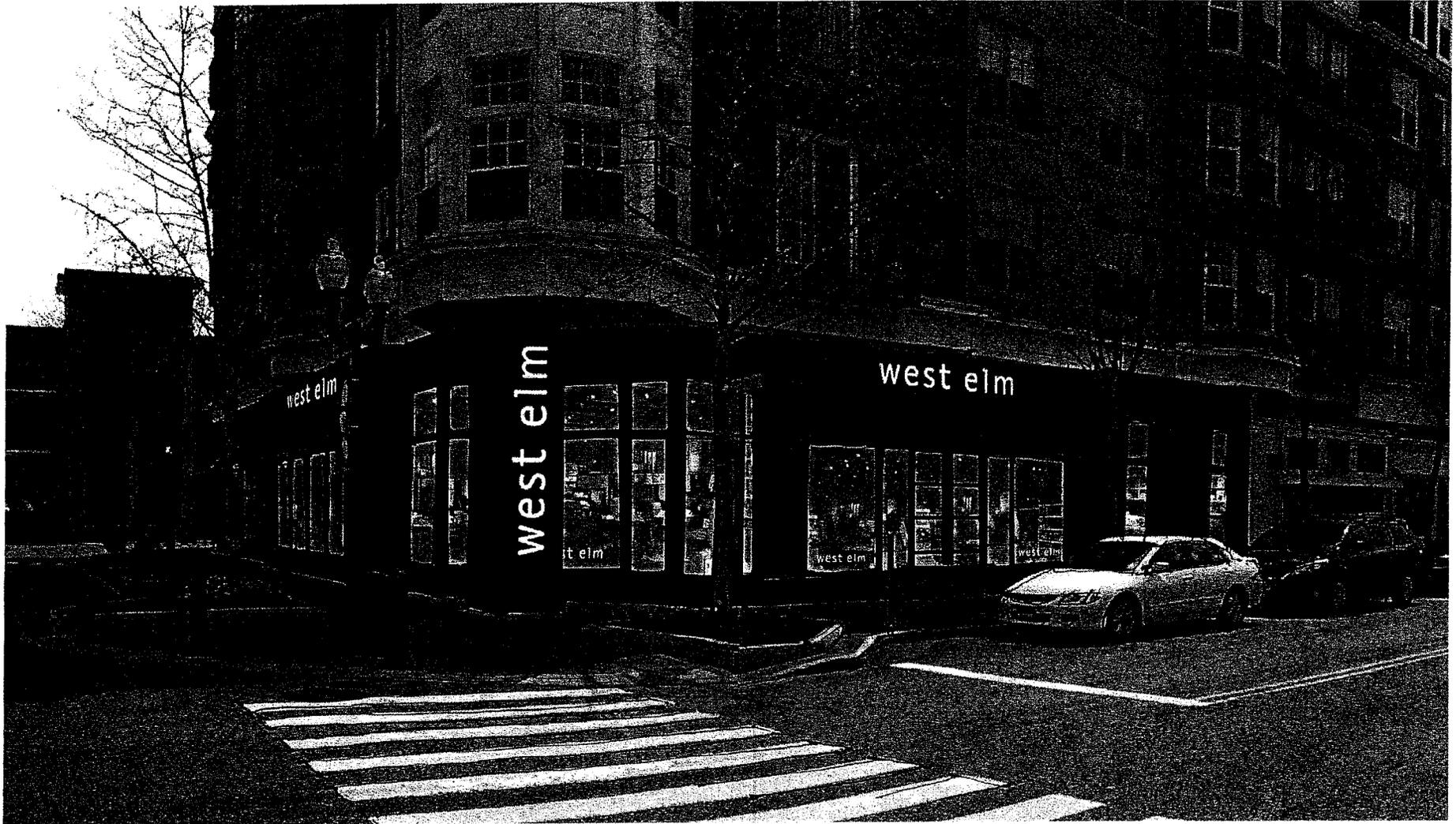
Project: **blue back square**  
WEST HARTFORD CONNECTICUT

Drawing Title: **APPLICATION AMENDMENT SDD #113 COMPILATION PLAN**

Job No. 7812501  
Date 05/01/05  
Scale AS NOTED  
Dwn. By DTG  
CRAC. BY 350

Drawing No. **FIG. 1**





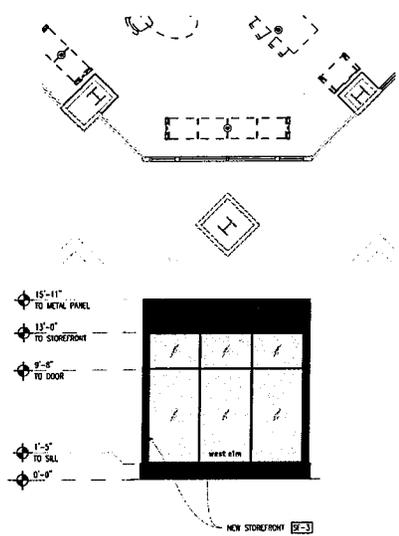
WEST ELM

BLUE BACK SQUARE, HARTFORD, CT

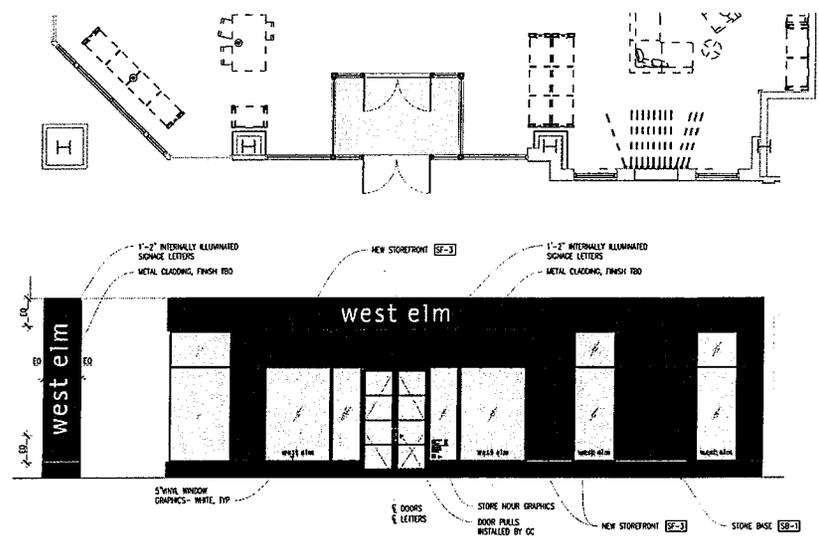
215935.00

STOREFRONT RENDERING - MAIN ENTRY - COLD ROLLED STEEL

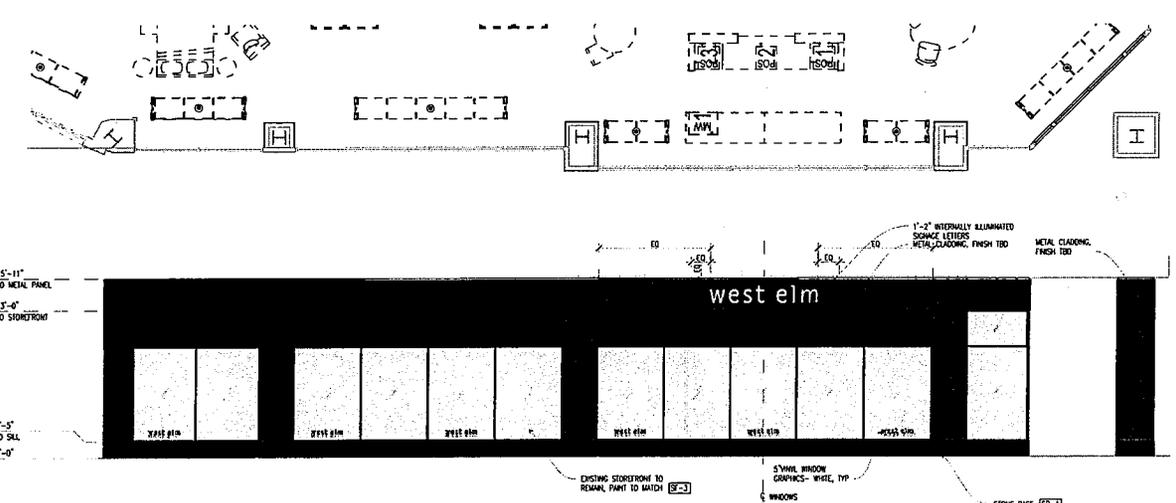
7 JANUARY 2015



**D2** NORTHEAST ELEVATION  
3/16" = 1' 0"



**D4** NORTH ELEVATION  
3/16" = 1' 0"



**A2** EAST ELEVATION  
3/16" = 1' 0"

OWNER:  
**WILLIAMS-SONOMA, INC.**  
 3250 Van Ness Avenue  
 San Francisco, CA 94109  
 P 415 438 8184  
 www.williams-sonoma.com

**CALLISON**  
 www.callison.com

**west elm**  
 Blue Back Square  
 65 Memorial Road  
 West Hartford, CT 06107  
 PROJECT #215935.00

ISSUED - REVISED DATE  
 PRELIMINARY SET 7-18-14

EXTERIOR ELEVATION

**A-201**



DEPARTMENT OF  
COMMUNITY SERVICES

Attachment E

April 30, 2015

To: Town Council

From: Todd Dumais, Town Planner 

**SUBJECT: 999 SOUTH QUAKER LANE  
SDD DEVELOPMENT DISTRICT ADMINISTRATIVE  
AMENDMENT (SDD #48-R-1-15)**

I have received an administrative amendment request from Stan Cichy (Construction Manager), on behalf of GDC, Quaker Green, LLC for revisions to the approved Special Development District plan (SDD #48) located at 999 South Quaker Lane. The request is for minor modifications to the landscaping and landscape amenities and for the location approval of an accessory structure (air-conditioning condenser ground mount units).

Attached are a narrative and supporting plans which further explain the proposal.

The requested modifications fall within the approval powers contained in *Section 177-44C (9)* of the Code of Ordinances. This section allows the Town Planner to approve minor adjustments to limited plan elements of an SDD, in this instance, to *Section 177-44C (9)(b)* The type, size, number and location of plantings required for landscaping purposes (but not those required for screening from adjacent residential areas) may be adjusted by the substitution of other plantings in the same class (deciduous or nondeciduous); by plantings whose size differs by up to 10% of that required by the SDD ordinance; and by locating plantings within a radius of 50 feet from a site specified in the SDD ordinance and *Section 177-44C (9)(e)* the location of accessory uses and structures. It is my opinion that the plan, as modified, is in accordance with the purpose of the original SDD approved by the Town Council.

The purpose of the memo is to notify the Town Council of my intention to approve the requested modifications. This notice of approval is given with the understanding that such action will not be effective until the day following the next regular meeting of the Town Council and that such notice of approval is given 10 days prior to such Council meeting. This matter would therefore appear as a regular agenda item on the Regular Town Council Meeting, *Tuesday, May 12, 2015*. It is understood that the Town Council may reject my approval decision and direct that the modifications requested be considered under the provisions of *Section 177-44C (9)* which would require a complete application for amendment and requisite public hearing.

C: Ronald Van Winkle, Town Manager  
Joseph O'Brien, Corporation Counsel  
Mark McGovern, Director of Community Services  
Patrick Alair, Corporation Counsel  
Stan Cichy, Construction Manager, GDC, LLC  
Subject SDD File



**TOWN OF WEST HARTFORD**  
50 SOUTH MAIN STREET  
WEST HARTFORD, CONNECTICUT 06107-2485  
(860) 561-7555 FAX: (860) 561-7504  
<http://www.westhartford.org>

An Equal Opportunity/Affirmative Action Employer

GDC, Quaker Green, LLC  
100 Summit Lake Drive, suite 235  
Valhalla, NY 10595

Date: March 6, 2015

Mr. Todd Dumais  
West Hartford Town Hall  
50 South Main St, Room 214  
West Hartford, CT 06107

Re: Quaker Green SDD #48 Administrative Amendment Application

Dear Mr. Dumais:

The Purpose of this application is to gain approval for two minor site design changes at Quaker Green, 999 South Quaker Lane. One of which is a revision to both the north and south entry designs. The other being placement of two condensers on the east side of 34 School House Drive (Building B) which is currently under construction. These condensers are to serve the common areas of the building.

Entry Design Revision:

Currently the north entrance at Quaker Green is complete with concrete pavers extending approximately 35' westerly past the sidewalk into the site which then transitions to asphalt. We have found that during inclement weather this area is difficult to maintain and tends to ice before the asphalt does adjacent to the pavers. We are proposing a design change which entails removing this section of pavers and replacing the area with asphalt. This change will greatly reduce the icing situation along with creating a much safer egress condition during inclement weather. Also with this change we would carry over the same design detail to the south entrance which is planned to be completed this spring.

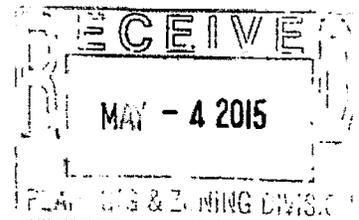
Condenser Placement at 34 School House Drive:

The Currently approved plan for the building specifies the common area condensers shown to be installed in the cupola of the building. The proposed revision shows the condensers to be relocated to the east side of the building adjacent to South Quaker Lane along with being screened with additional plantings which are to be evergreens. This change is beneficial to the community in two ways. One of which is ease of maintenance accessibility and the other being future replacement of the unit once it runs its functional life span. Both of which are beneficial in reducing maintenance costs in the future.

Regards,



Stan Cichy  
Construction Manager  
Ginsburg Development Companies, LLC  
Gillette Ridge/Quaker Green  
26 School House Drive Unit 102  
West Hartford, CT 06110



**Date: April 22, 2015**

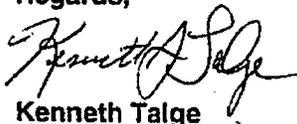
**Mr. Todd Dumais  
West Hartford Town Hall  
50 South Main St, Room 214  
West Hartford, CT 06107**

**Re: Quaker Green SDD #48 Administrative Amendment Application**

**Dear Mr. Dumais:**

**At the open community monthly meeting of the Quaker Green Advisory Board held on Wednesday April 1st., I presented the GDC plan to add two outside condensers to Building B for the purpose of providing air conditioning to the common areas. All present were in favor of this proposal. This item was put on the agenda to the entire community in advance of the meeting. The community is also in support of the redesign of the north and south entrances which involves removal of the pavers and replacing them with asphalt as a necessary safety improvement. I duly authorize Stan Cichy to move forward with this application.**

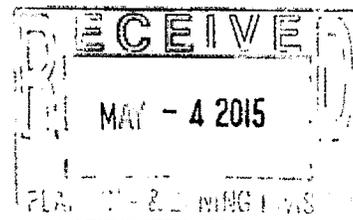
**Regards,**

  
Kenneth Talge

**Treasurer, Quaker Green Association, INC.**

**18 Schoolhouse Dr.**

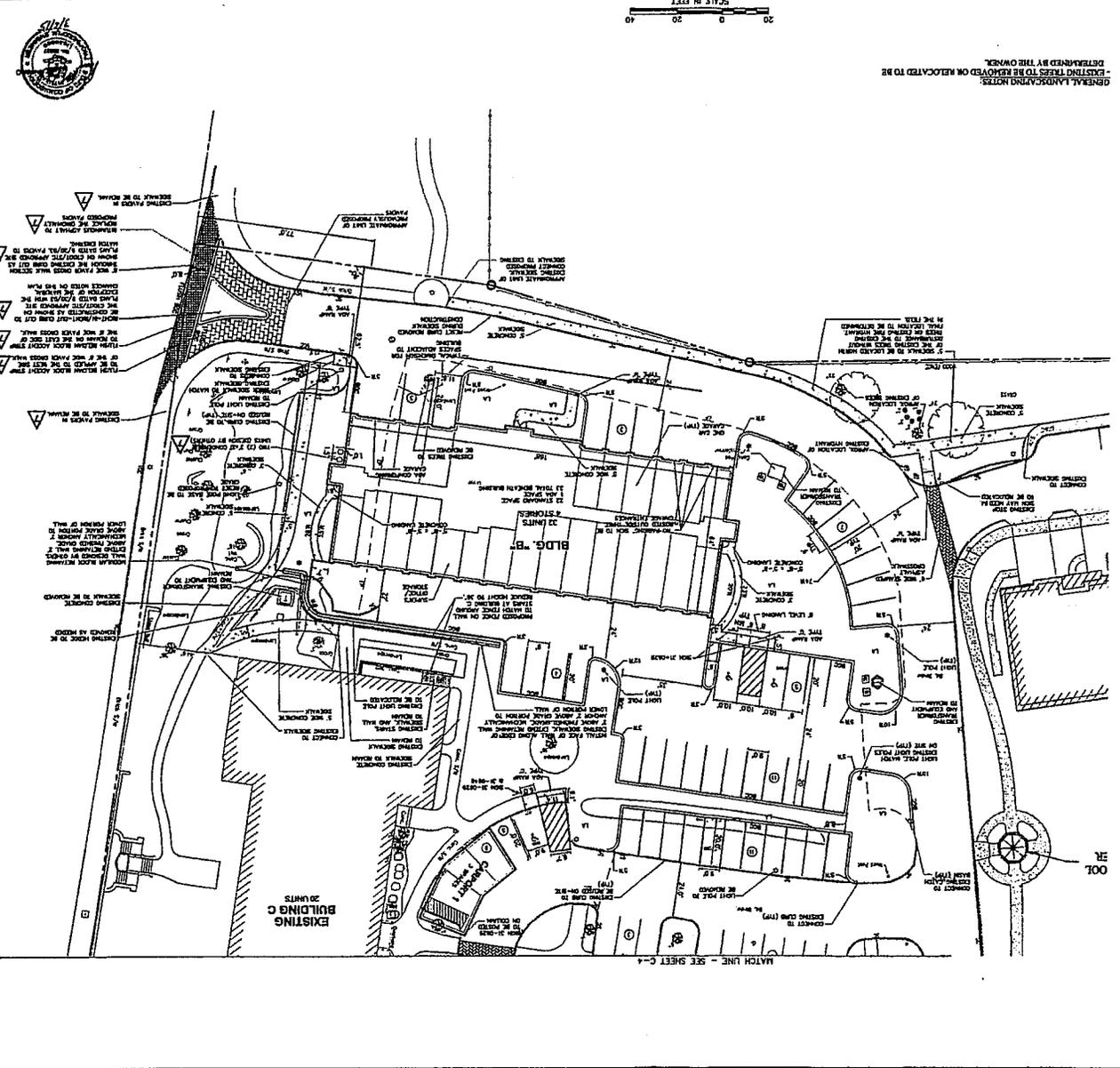
**West Hartford, Ct 06110**





Sign Summary

Sheet	Location	Notes
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REVISIONS

1	REV. CORRECTED - 11/11
2	REV. CORRECTED - 11/11
3	REV. CORRECTED - 11/11
4	REV. CORRECTED - 11/11
5	REV. CORRECTED - 11/11
6	REV. CORRECTED - 11/11
7	REV. CORRECTED - 11/11
8	REV. CORRECTED - 11/11
9	REV. CORRECTED - 11/11
10	REV. CORRECTED - 11/11

DESIGNED BY: PV  
 DRAWN BY: RBZ

YHB  
 YOUNG HUNT BROTHERS  
 100 WEST 42ND STREET  
 NEW YORK, NY 10018

GDC  
 GARDNER GREENBERG DESIGN CENTER, LLC  
 100 WEST 42ND STREET  
 NEW YORK, NY 10018

Her Approval for Construction

Quaker Green  
 ONE SOUTH QUAKER LANE  
 WEST VALLEY TOWN, CT

SCALE: 1"=20'

DATE: 04/27/2012  
 SHEET NO. 41757.00  
 C-5  
 TITLE: Layout and Materials Plan - Building B



DEPARTMENT OF  
COMMUNITY SERVICES

April 30, 2015

To: Town Council

From: Todd Dumais, Town Planner **SUBJECT: 1 CHATFIELD DRIVE  
SPECIAL DEVELOPMENT DISTRICT  
ADMINISTRATIVE AMENDMENT (SDD #41-R1-15)**

I have received an administrative amendment request from Jim Wallis, Principal, Perspectus Architecture, on behalf of Brookdale Senior Living Inc., the owner and operator of Chatfield of West Hartford and Brookdale Living Communities of Connecticut-WH, Inc. for revisions to the approved Special Development District plan (SDD #41) located at 1 Chatfield Drive. The request is for minor architectural modifications to the building façade and for modifications to the landscaping and landscape amenities.

Attached are a narrative and supporting plans which further explain the proposal.

The requested modifications fall within the approval powers contained in *Section 177-44C (9)* of the Code of Ordinances. This section allows the Town Planner to approve minor adjustments to limited plan elements of an SDD, in this instance, to *Section 177-44C (9)(b)* The type, size, number and location of plantings required for landscaping purposes (but not those required for screening from adjacent residential areas) may be adjusted by the substitution of other plantings in the same class (deciduous or nondeciduous); by plantings whose size differs by up to 10% of that required by the SDD ordinance; and by locating plantings within a radius of 50 feet from a site specified in the SDD ordinance and *Section 177-44C (9)(d)* minor architectural changes. It is my opinion that the plan, as modified, is in accordance with the purpose of the original SDD approved by the Town Council.

The purpose of the memo is to notify the Town Council of my intention to approve the requested modifications. This notice of approval is given with the understanding that such action will not be effective until the day following the next regular meeting of the Town Council and that such notice of approval is given 10 days prior to such Council meeting. This matter would therefore appear as a regular agenda item on the Regular Town Council Meeting, *Tuesday, May 12, 2015*. It is understood that the Town Council may reject my approval decision and direct that the modifications requested be considered under the provisions of *Section 177-44C (9)* which would require a complete application for amendment and requisite public hearing.

cc: Ronald Van Winkle, Town Manager  
Mark McGovern, Director of Community Services  
Jim Wallis, Perspectus Architecture

Joseph O'Brien, Corporation Counsel  
Patrick Alair, Corporation Counsel  
Subject SDD File

SD/TPZ/SDD Chatfield\_SDD#41\_R1\_15\_March13



TOWN OF WEST HARTFORD  
50 SOUTH MAIN STREET  
WEST HARTFORD, CONNECTICUT 06107-2485  
(860) 561-7555 FAX: (860) 561-7504  
<http://www.westhartford.org>

An Equal Opportunity/Affirmative Action Employer

May 1, 2015

Todd Dumais, Town Planner  
Town of West Hartford  
Town Hall  
50 South Main Street  
West Hartford, Connecticut 06107

RE: **SDD #41, One Chatfield Drive, West Hartford, Connecticut –  
Administrative Amendment Request Pursuant to Code 177-44 C. (9).**

Dear Mr. Dumais:

On behalf of Brookdale Senior Living to whom a Special Development District (SDD) approval established SDD #41 at One Chatfield Drive for development of a new Assisted Living and Memory Care Facility was granted by the West Hartford Town Council on September 9, 2014, it is hereby requested that the Town Planner approve an Administrative Adjustment pursuant 177-4C.(9) of the West Hartford Code of Ordinances and as set out in the enclosed set of plans entitled "Chatfield At West Hartford Administrative Amendment to SDD #41" consisting of 15 sheets. The proposed changes are in accord with the purposes of the original SDD approval and no limitations in the underlying zone are exceeded. The requested changes are primarily minor architectural changes, most of which are necessary due to further refinement of the Building Interior Layout and Resident Safety concerns. No exterior Architectural Materials or Colors have been changed to the approved project. The following is a brief List of the Refinements:

1. Replacement of a door with a window on the East and West Elevations of the Memory Care Building to increase Resident Safety. The doors being eliminated are not Means of Egress exit doors required by the building code.
2. Revision of the Memory Care Building Exterior Courtyard Fence from 6 Feet high to 7 Feet high to increase Resident Safety.
3. Addition of Covered Porch to the Memory Care Building in Exterior Courtyard for Resident Programs. This resulted in a revision to the sidewalk and plantings within the Courtyard Area.
4. Addition of a false chimney structure on the South Elevation of the Three Story Assisted Living Building enclosing and hiding an emergency generator flue required to remove exhaust fumes away from the building resident unit windows.

13212 Shaker Square, Suite 204  
Cleveland, Ohio 44120  
216.752.1800 PHONE  
216.752.3833 FAX

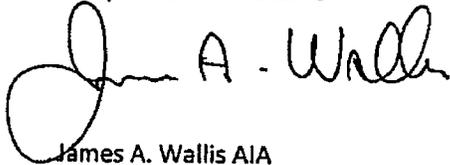
[perspectusarch.com](http://perspectusarch.com)

**SDD #41, One Chatfield Drive, West Hartford, Connecticut –  
Administrative Amendment Request Pursuant to Code 177-44 C. (9)  
Page 2**

5. Minor substitutions and relocations for some exterior hardscape and landscape elements. There are no changes to the plantings on the berm along Elmfield Street.
6. Final Selection of the above ground planters for community garden that is being relocated as part of the project. The existing raised planters are in poor condition and cannot be relocated.
7. Combine two handicap ramps into one at the access driveway across from the main entry to the new Building on the North side of the site.
8. Added sidewalk connection to the existing building in the new community gardens area.

Please let me know if you require additional information.

Sincerely,  
Perspectus Architecture



James A. Wallis AIA  
Principal

13212 Shaker Square, Suite 204  
Cleveland, Ohio 44120  
216.752.1800 PHONE  
216.752.3833 FAX

[perspectusarch.com](http://perspectusarch.com)

# BROOKDALE SENIOR LIVING

## Chatfield at West Hartford

### Administrative Ammendment to Special Development District #41

SDD # 41

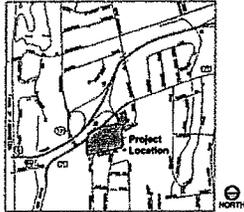
Approved September 9, 2014

Revised April 29, 2015 (Administrative Ammendment to SDD)

**Perspectus**  
 12212 Shaker Square  
 Suite 204  
 Cleveland, Ohio 44120  
 P: 216.752.1800 F: 216.752.2613

One Chatfield Drive  
 West Hartford, CT 06110

#### LOCATION PLAN



One Chatfield Drive  
 West Hartford, CT 06110

#### PROJECT TEAM

**OWNER**  
 Brookdale Senior Living  
 111 Westwood Place, Suite 440  
 Brentwood, TN 37027  
 p: 614.221.2289

**ARCHITECT**  
 Perspectus Architecture  
 12212 Shaker Square, Suite 204  
 Cleveland, Ohio 44120  
 p: 216.752.1800  
 f: 216.752.2613  
 contact: Jim Walls  
 email: JWalls@PerspectusArch.com

**STRUCTURAL ENGINEER**  
 Barber & Hoffman  
 1100 W 9th Street  
 Cleveland, OH 44113-1003  
 p: 216.875.0100  
 f: 216.875.0111  
 contact: James M. Colella  
 email: J.Colella@BarberHoffman.com

**PLUMBING, MECHANICAL & ELECTRICAL ENGINEER**  
 Karpinski Engineering  
 8720 Orion Place, Suite 120  
 Columbus, OH 43240  
 p: 614.430.9820  
 f: 614.430.9825  
 electrical contact: Bradley Shade  
 email: BShade@KarpinskiEng.com  
 mechanical contact: Frank Ekanthower  
 email: FEkanthower@KarpinskiEng.com

**CIVIL ENGINEER**  
 Milone & MacBroom  
 99 Realty Drive  
 Cheshire, CT 06410  
 p: 203.271.1773  
 f: 203.272.9733  
 contact: Tom Daly  
 email: TomD@MiloneandMacBroom.com

#### DRAWINGS

TE-1 Title Sheet  
**CIVIL ENGINEERING**  
 CE-0 Site Plan - Layout  
 CE-1 Site Plan - Landscaping  
 CE-2 Landscaping Notes and Legend

#### ARCHITECTURAL PLANS FOR NEW AL & MC BUILDING

A2-01 MC First Floor Plan  
 A2-02 AL First Floor Plan  
 A2-03 AL Second Floor Plan  
 A2-04 AL Third Floor Plan  
 A2-05 MC Roof Plan  
 A2-06 AL Roof Plan  
 A4-01 Exterior Elevations  
 A4-02 Exterior Elevations  
 A4-03 Exterior Elevations

Brookdale Senior Living  
 Chatfield at West Hartford  
 One Chatfield Drive  
 West Hartford, CT 06110

ISSUE	DATE
PROJECT SET	10/20/14
ADMIN PLAN 1	10/20/14
ADMIN PLAN 2	11/20/14
ADMIN PLAN 3	12/10/14

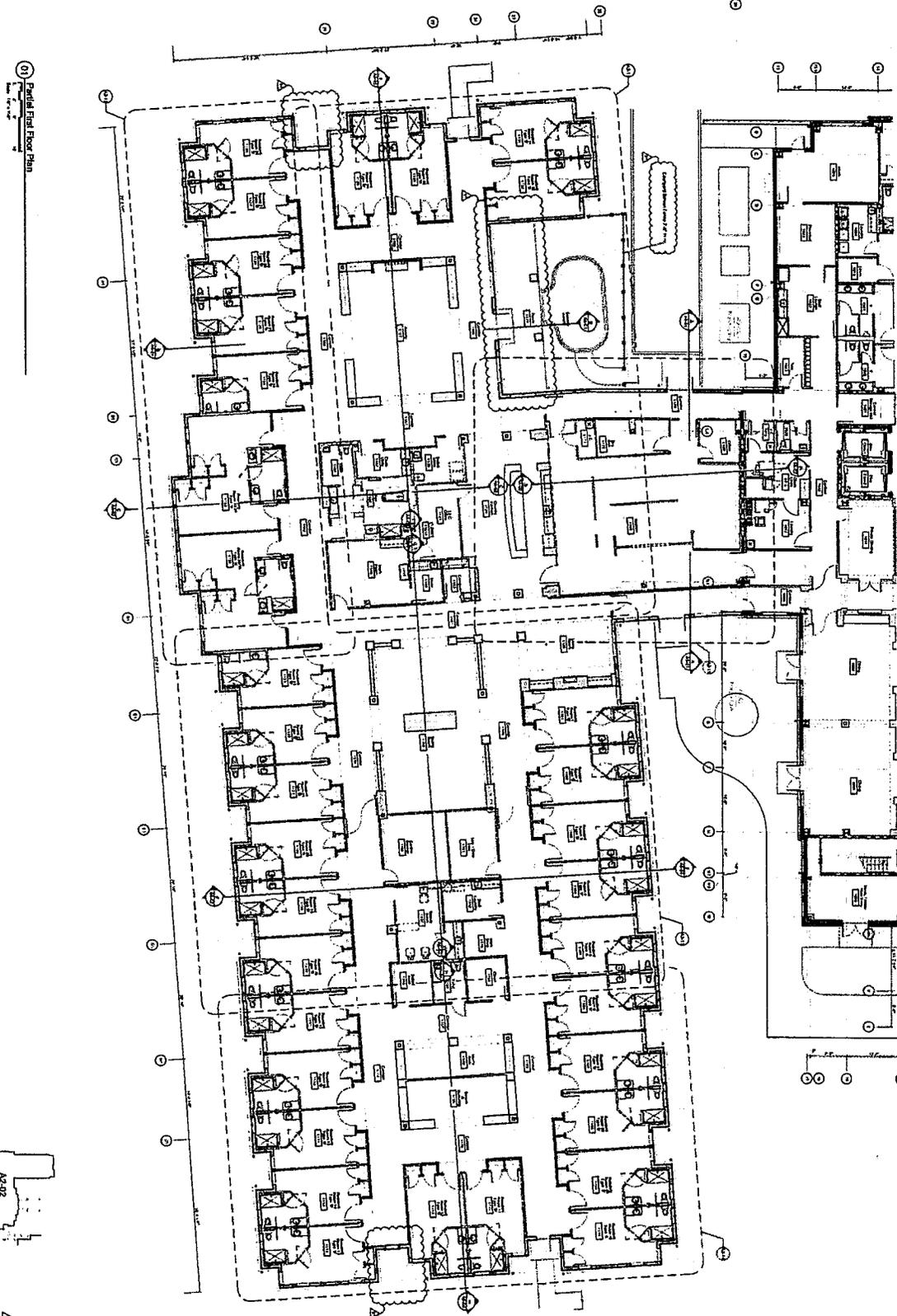
PROJECT NUMBER: 14-001  
 DRAWN BY:  
 CHECKED BY:  
 TITLE SHEET AND  
 REFERENCE INFORMATION

TS-1









10 Parking First Floor Plan

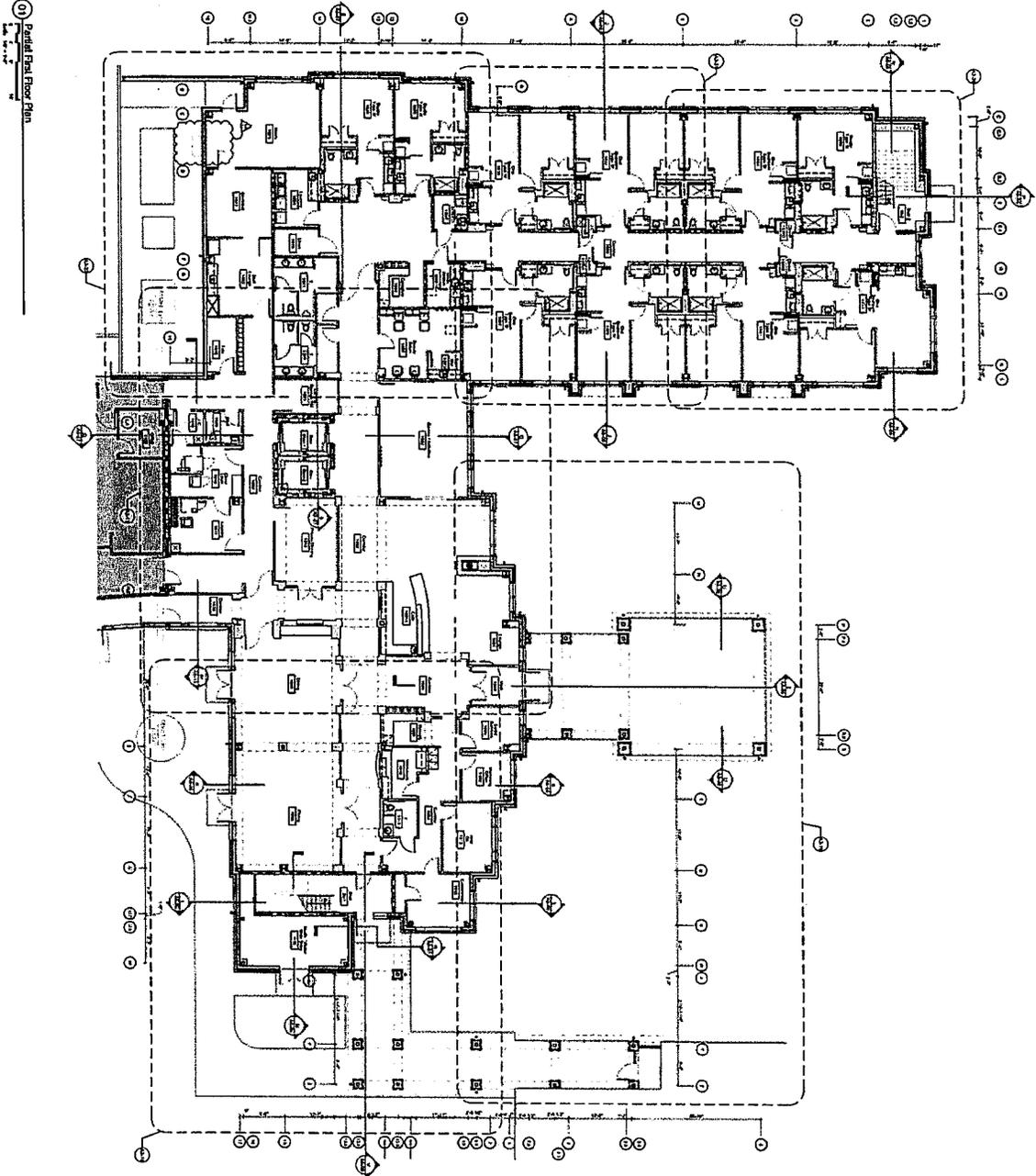


A2-01

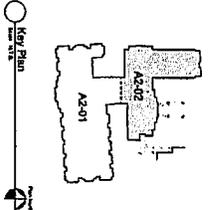
DATE	11/20/11
PROJECT NO.	11-001
PROJECT NAME	BROOKDALE SENIOR LIVING
CLIENT	WEST HARTFORD
ARCHITECT	PERSPECTUS

**Brookdale Senior Living**  
 Chatfield at West Hartford  
 One Chatfield Drive  
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**Perspectus**  
 ARCHITECTS  
 1000 WEST HARTFORD AVENUE  
 WEST HARTFORD, CT 06110  
 TEL: 860-234-1100  
 FAX: 860-234-1101  
 WWW.PERSPECTUSARCHITECTS.COM



01 Second Floor Plan



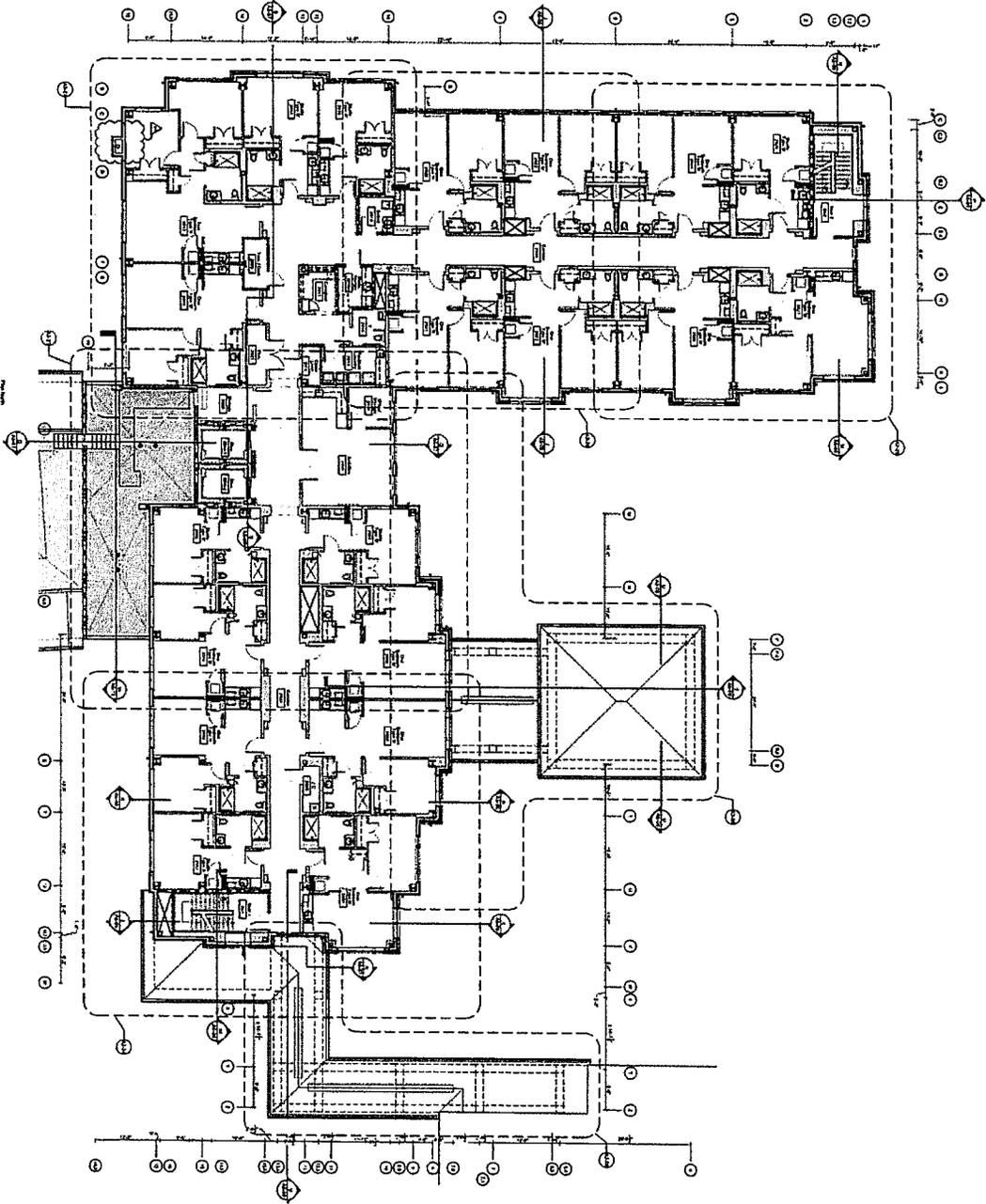
02 Site Plan

**A2-02**

PROJECT NUMBER	11-01
DATE	11/14/11
PROJECT NAME	BROOKDALE SENIOR LIVING
PROJECT ADDRESS	ONE CHATFIELD DRIVE
CITY	WEST HARTFORD, CT
STATE	CONNECTICUT
ZIP	06110
OWNER	TRUSTEES OF BROOKDALE SENIOR LIVING
ARCHITECT	PERSPECTUS ARCHITECTS, P.C.
SCALE	AS SHOWN

**Brookdale Senior Living  
Chatfield at West Hartford  
One Chatfield Drive  
West Hartford, CT 06110**

**Perspectus**  
ARCHITECTS, P.C.  
1100 MAIN STREET, SUITE 200  
WEST HARTFORD, CONNECTICUT 06110  
TEL: 860.234.1100  
WWW.PERSPECTUSARCHITECTS.COM



Second Floor Plan

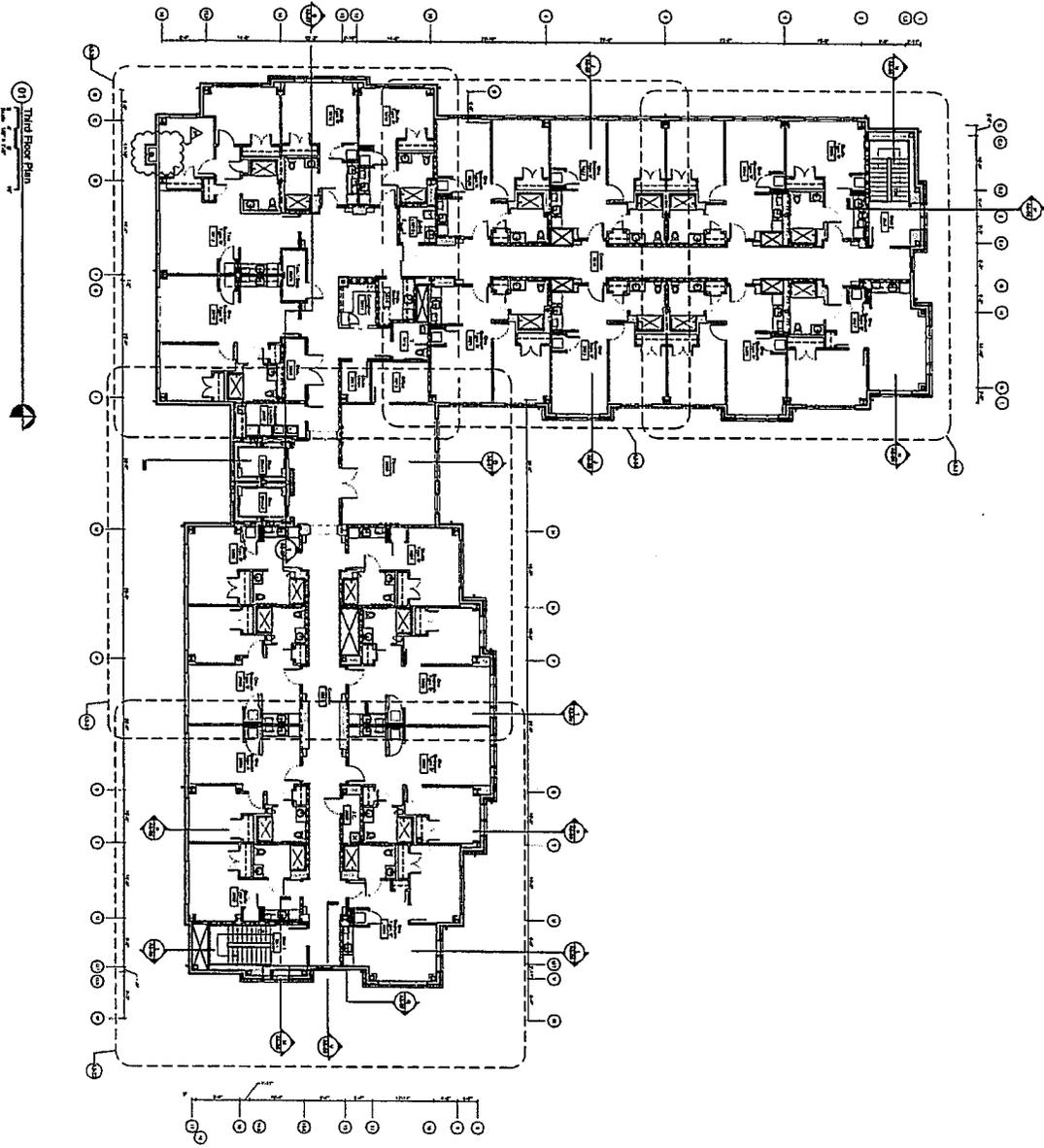
**Perspectus**  
 ARCHITECTURAL FIRM  
 1000 WEST STREET  
 WEST HARTFORD, CT 06110  
 P: 860.733.7800 F: 860.733.7801  
 WWW.PERSPECTUSARCHITECTS.COM

**Brookdale Senior Living**  
 Chatfield at West Hartford  
 One Chatfield Drive  
 West Hartford, CT 06110

NO.	DATE	DESCRIPTION
1	11/05/11	ISSUED FOR PERMITS
2	11/05/11	ISSUED FOR PERMITS
3	11/05/11	ISSUED FOR PERMITS
4	11/05/11	ISSUED FOR PERMITS
5	11/05/11	ISSUED FOR PERMITS

PROJECT MANAGER: J. L. SMITH  
 ARCHITECT: PERSPECTUS  
 DRAWN BY: J. L. SMITH  
 ALL SECOND FLOOR PLANS

A2-03



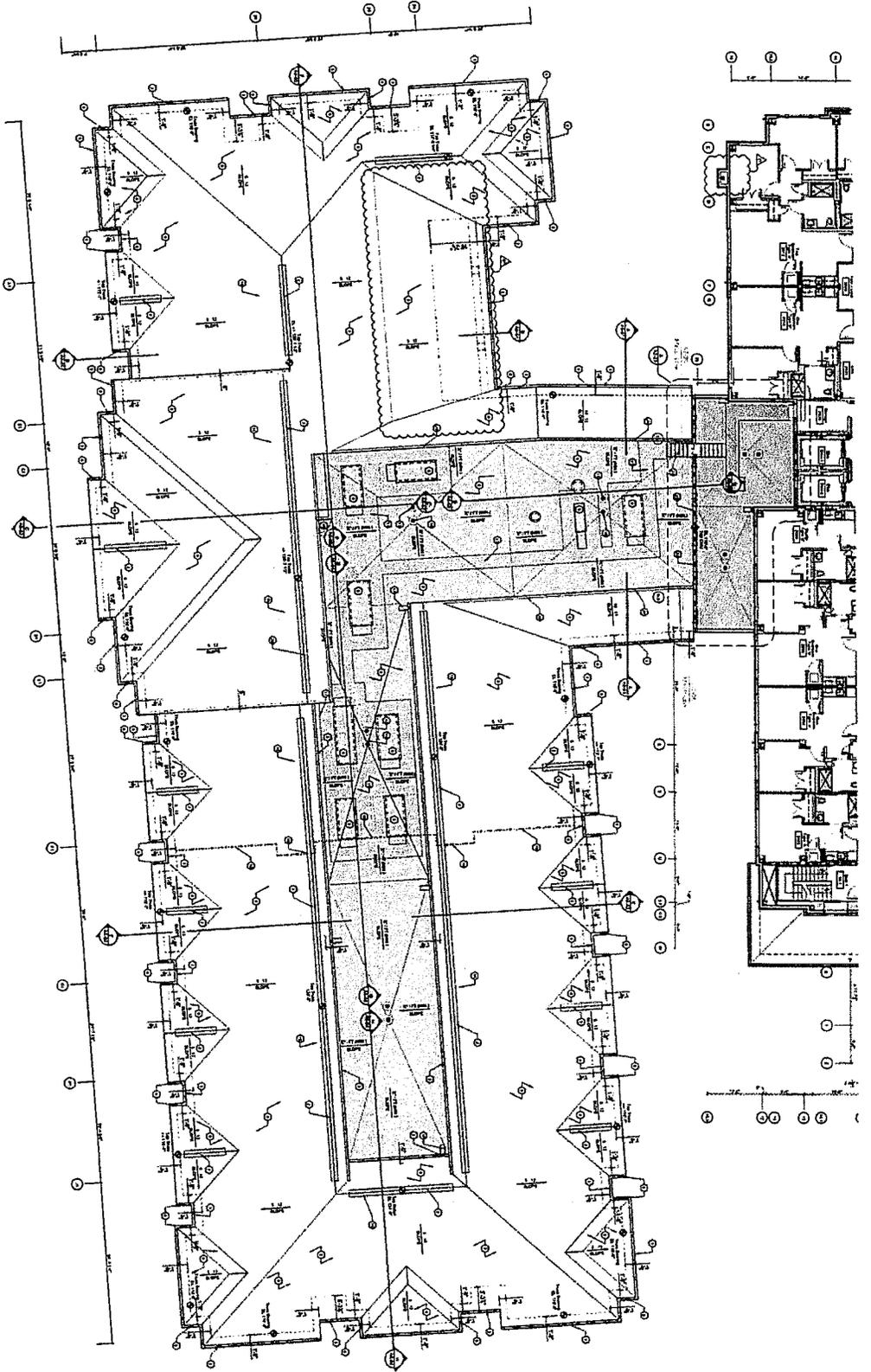
**A2-04**

PROJECT: **Brookdale Senior Living**  
 CHASE: **Chatfield at West Hartford**  
 DATE: **11/20/11**  
 DRAWN BY: **AL Third Floor Plan**

DATE: **11/20/11**  
 PROJECT: **Brookdale Senior Living**  
 CHASE: **Chatfield at West Hartford**  
 DATE: **11/20/11**  
 DRAWN BY: **AL Third Floor Plan**

**Brookdale Senior Living**  
**Chatfield at West Hartford**  
**One Chatfield Drive**  
**West Hartford, CT 06110**

**Perspectus**  
 ARCHITECTURE  
 1000 WEST HARTFORD AVENUE  
 WEST HARTFORD, CT 06110  
 TEL: 860.234.1100  
 FAX: 860.234.1101  
 WWW.PERSPECTUSARCHITECTURE.COM



Partial Floor Plan

ROOF PLAN GENERAL NOTES

1. All roof areas shall be constructed in accordance with the specifications and details shown on these drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the local building department.

2. The roof shall be constructed with a minimum 2" thick concrete slab on top of a 4" thick concrete slab. The roof shall be finished with a smooth surface.

3. All roof areas shall be waterproofed with a minimum 2" thick layer of waterproofing material. The waterproofing shall be applied in accordance with the manufacturer's instructions.

4. All roof areas shall be finished with a minimum 2" thick layer of insulation. The insulation shall be applied in accordance with the manufacturer's instructions.

5. All roof areas shall be finished with a minimum 2" thick layer of roofing material. The roofing material shall be applied in accordance with the manufacturer's instructions.

MATERIALS LEGEND

1. Concrete Slab (2" thick)

2. Concrete Slab (4" thick)

3. Waterproofing Material (2" thick)

4. Insulation (2" thick)

5. Roofing Material (2" thick)

ROOF PLAN KEY NOTES

1. All roof areas shall be constructed in accordance with the specifications and details shown on these drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the local building department.

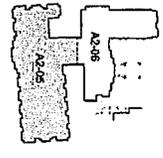
2. The roof shall be constructed with a minimum 2" thick concrete slab on top of a 4" thick concrete slab. The roof shall be finished with a smooth surface.

3. All roof areas shall be waterproofed with a minimum 2" thick layer of waterproofing material. The waterproofing shall be applied in accordance with the manufacturer's instructions.

4. All roof areas shall be finished with a minimum 2" thick layer of insulation. The insulation shall be applied in accordance with the manufacturer's instructions.

5. All roof areas shall be finished with a minimum 2" thick layer of roofing material. The roofing material shall be applied in accordance with the manufacturer's instructions.

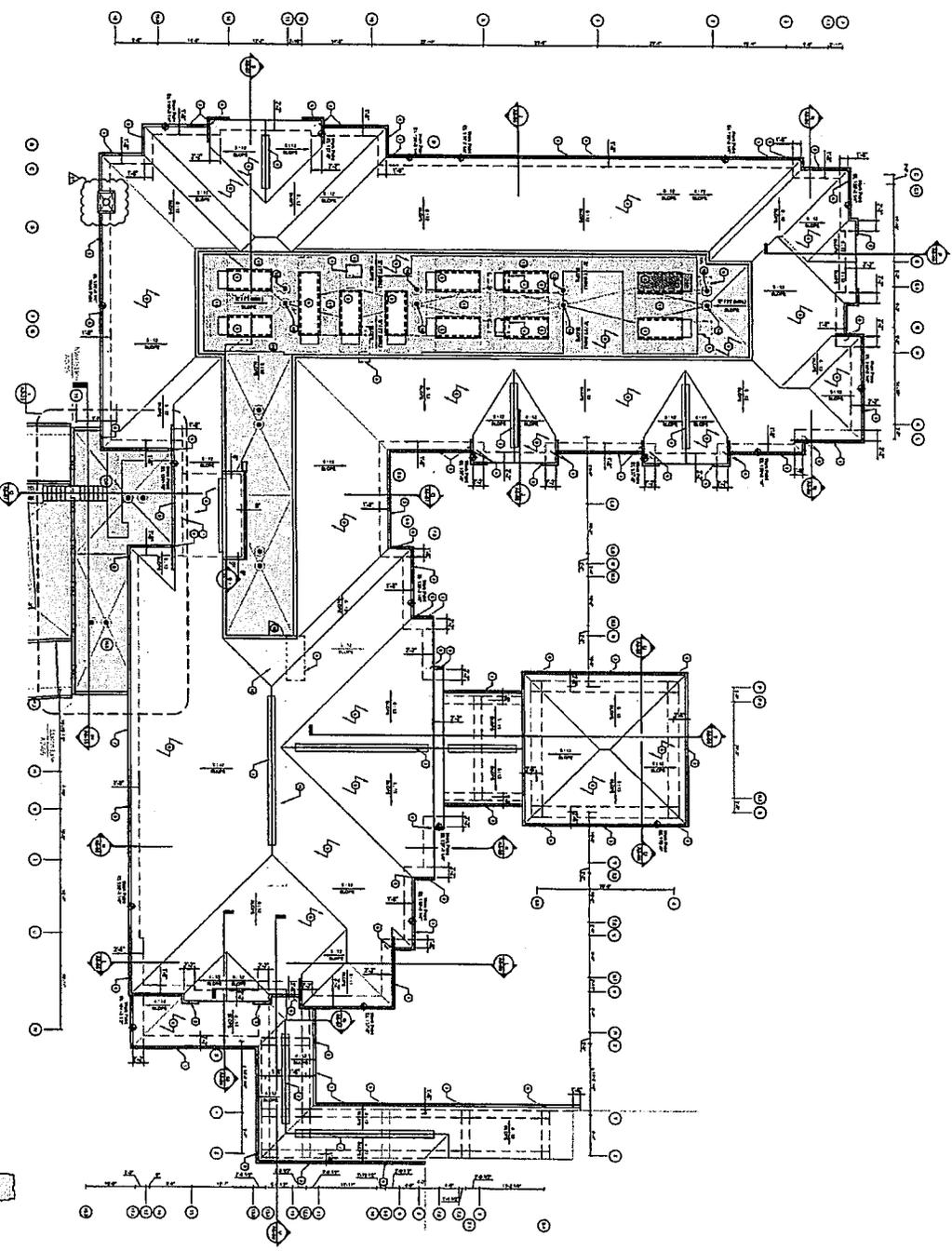
Key Plan



**Perspectus**  
 Architectural Firm  
 100 Main Street  
 West Hartford, CT 06110  
 Phone: (860) 234-1111  
 Fax: (860) 234-1112  
 Website: www.perspectus.com

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 Chatfield at West Hartford  
 One Chatfield Drive  
 West Hartford, CT 06110

**A2-05**  
 PROJECT NUMBER: 1100  
 DRAWING TITLE: ROOF PLAN  
 DATE: 10/11/11  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]



Partial Roof Plan

**ROOF PLAN GENERAL NOTES**

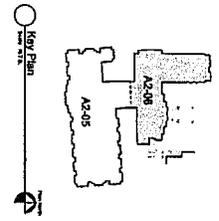
1. See Section 05100 for details of roof construction.
2. All roof areas shall be finished with 2" thick concrete over 2" thick insulation.
3. All roof areas shall be finished with 2" thick concrete over 2" thick insulation.
4. All roof areas shall be finished with 2" thick concrete over 2" thick insulation.

**MATERIALS LEGEND**

- 1. 2" Thick Concrete
- 2. 2" Thick Insulation

**ROOF PLAN REV NOTES**

1. Revise roof plan to show new roof structure.
2. Revise roof plan to show new roof structure.
3. Revise roof plan to show new roof structure.
4. Revise roof plan to show new roof structure.



PROJECT NUMBER	A2-06
DATE	11/01
DESIGNED BY	AL (R) (R) (R)
SCALE	AS SHOWN

**Brookdale Senior Living**  
**Chatfield at West Hartford**  
 One Chatfield Drive  
 West Hartford, CT 06110

**Perspectus**  
 ARCHITECTS  
 1000 WEST HARTFORD AVENUE  
 WEST HARTFORD, CT 06110  
 TEL: 860-234-1111  
 FAX: 860-234-1112  
 WWW.PERSPECTUSARCHITECTS.COM



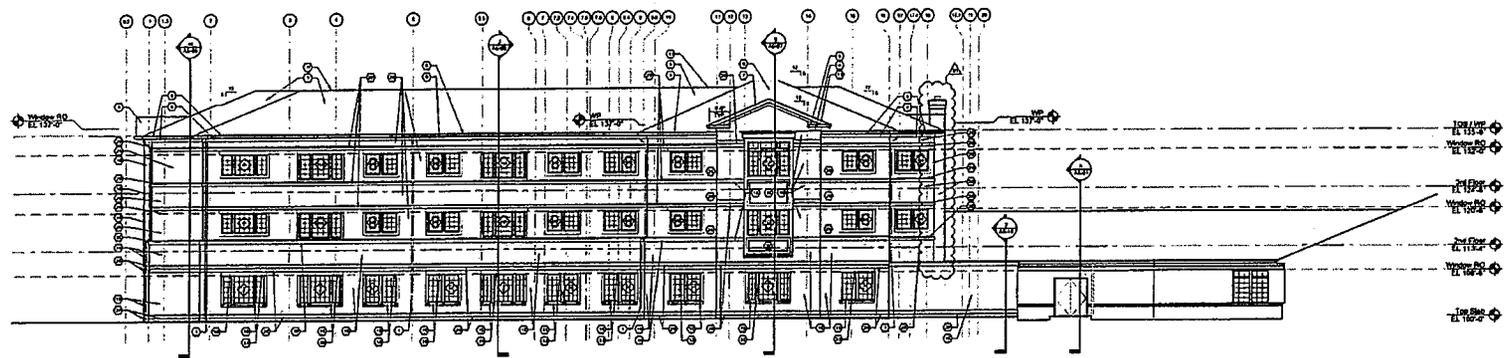


**ELEVATION CODED NOTES**

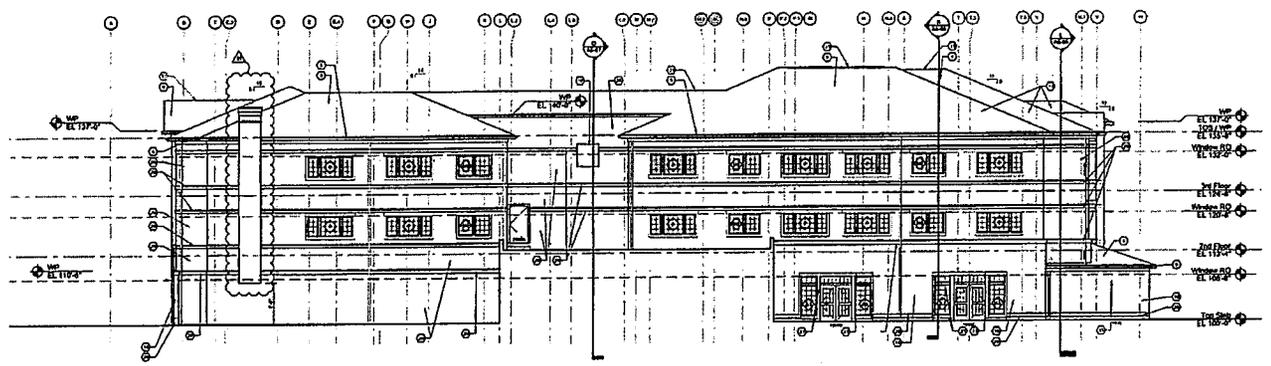
1. PVC Weather Resistant Barrier (WRB) - See Roof Plans & G&B Engineering Drawn.
2. Exterior Insulation Finish System (EIFS) - See Foundation & Wall Details.
3. 1/2" Air Cavity - See Foundation & Wall Details.
4. 1/2" Air Cavity - See Foundation & Wall Details.
5. 1/2" Air Cavity - See Foundation & Wall Details.
6. 1/2" Air Cavity - See Foundation & Wall Details.
7. 1/2" Air Cavity - See Foundation & Wall Details.
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48. 1/2" Air Cavity - See Foundation & Wall Details.
49. 1/2" Air Cavity - See Foundation & Wall Details.
50. 1/2" Air Cavity - See Foundation & Wall Details.

See Sheet A4-04 for Window Schedule & Details

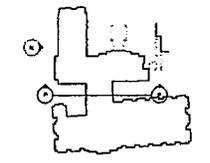
**Perspectus**  
 12112 Shelton Square  
 Suite 204  
 Cromwell, CT 06430  
 P. 214.732.1900 F. 214.732.2653



**West Elevation**  
 Scale: 1/8" = 1'-0"



**South Elevation**  
 Scale: 1/8" = 1'-0"



**Key Plan**  
 Scale: 1/8" = 1'-0"

**Brookdale Senior Living**  
 Chatfield at West Hartford  
 One Chatfield Drive  
 West Hartford, CT 06110

DATE	DATE
PERMIT SET	10/09/12
ADDITIONAL SET 1	02/09/14
ADDITIONAL SET 2	11/09/12
ADDITIONAL SET 3	11/11/14

APPROVED AS SHOWN  
 04/29/15

**A4-03**