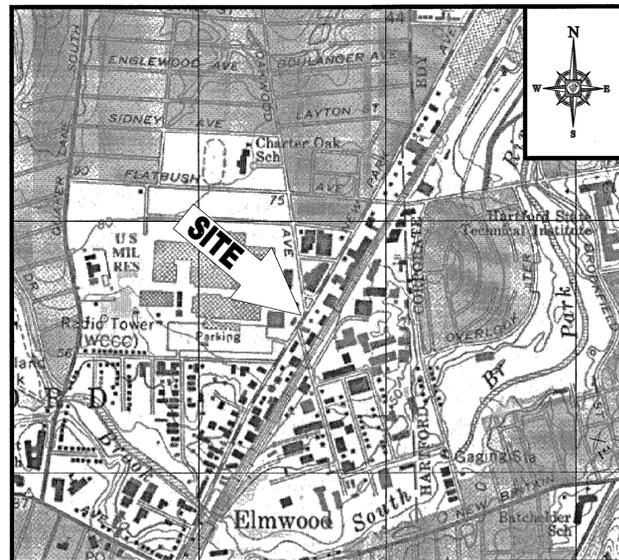


SITE DEVELOPMENT PLANS

FOR:
PROPOSED

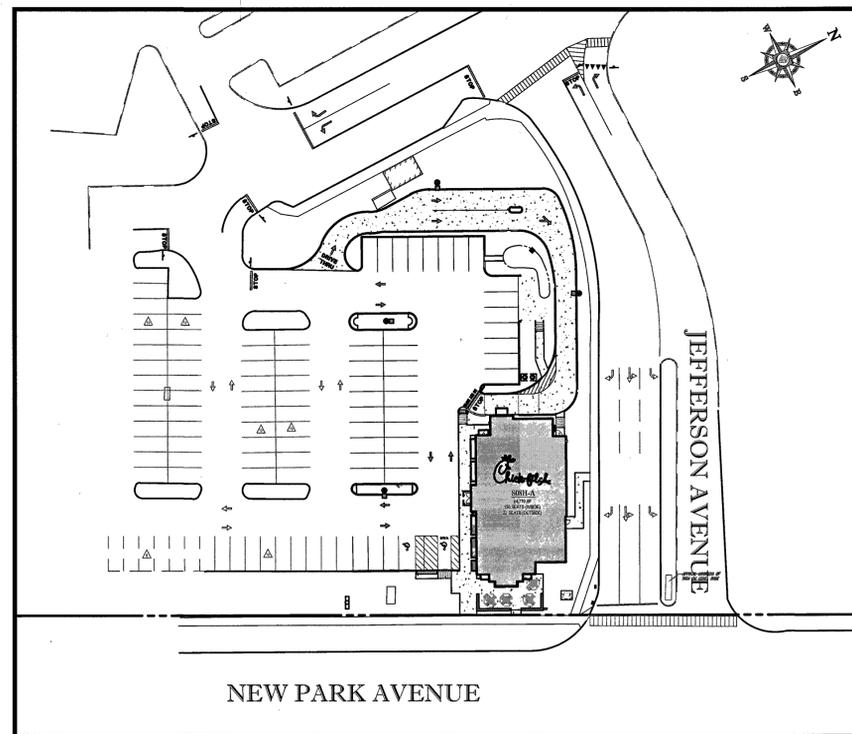


WITH DRIVE-THRU
LOCATION OF SITE:
511 NEW PARK AVENUE
TOWN OF WEST HARTFORD
HARTFORD COUNTY, CONNECTICUT
MAP #H13, BLOCK #3776, LOT #511



LOCATION MAP

SCALE: 1"=1000'
PLAN REFERENCE: HARTFORD SOUTH CONNECTICUT USGS QUADRANGLE



AREA PLAN

SCALE: 1"=50'

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-0.0 OF 21
GENERAL NOTES SHEET	C-1.0 OF 21
ALTA/ACSM LAND TITLE SURVEY (BY OTHERS)	C-1.1 OF 21
ALTA/ACSM LAND TITLE SURVEY (BY OTHERS)	C-1.2 OF 21
DEMOLITION PLAN	C-1.3 OF 21
SITE PLAN	C-2.0 OF 21
GRADING & DRAINAGE PLAN	C-3.0 OF 21
SOIL EROSION & SEDIMENT CONTROL PLAN	C-3.1 OF 21
SOIL EROSION CONTROL NOTES & DETAILS SHEET	C-3.2 OF 21
CHICK-FIL-A STANDARD DETAILS	C-4.0 OF 21
CHICK-FIL-A STANDARD DETAILS	C-4.1 OF 21
CHICK-FIL-A STANDARD DETAILS	C-4.2 OF 21
CONSTRUCTION DETAIL SHEET	C-5.0 OF 21
CONSTRUCTION DETAIL SHEET	C-5.1 OF 21
PLUMBING SITE PLAN	PS-1.0 OF 21
SITE LIGHTING PLAN (BY OTHERS)	ES-1.0 OF 21
LANDSCAPE PLAN	L-1.0 OF 21
LANDSCAPE NOTES & DETAILS SHEET	L-1.1 OF 21
ARCHITECTURAL PERSPECTIVES	19 OF 21
ARCHITECTURAL ELEVATIONS	20 OF 21
ARCHITECTURAL FLOORPLAN	21 OF 21

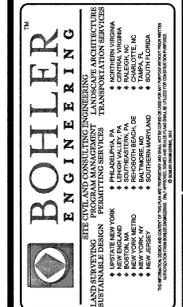
SHEET INDEX



Chick-fil-A
5200 Buffington Rd.
Atlanta, Georgia, 30349-2998

REVISIONS

#	DATE	COMMENT	BY
1	1/20/16	DRAC	JNF
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			



BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTHBRIDGE, MA 01772
Phone: (508) 450-9900
Fax: (508) 450-9840
www.BohlerEngineering.com

STORE #03673
S08H-A
511 NEW PARK AVENUE
TOWN OF W. HARTFORD
HARTFORD COUNTY, CT
MAP #H13, BLOCK #3776,
LOT #511

SHEET TITLE

COVER SHEET

DWG EDITION 02.4

Preliminary
 80% Submittal
 For Construction

Job No. : W151028
Store : 03673
Date : 02/12/16
Drawn By : CFD/JNF
Checked By : AD/JGS

Sheet

C-0.0

PREPARED BY



P:\151028\DWG\151028A.dwg - CDL-Cover - 02/12/16 - 10:17:14 AM, Plot Date: 2/12/16 10:17:14 AM, Plot Scale: 1/1000, Plot Orientation: Landscape

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - SURVEY: "ALTAACSM LAND TITLE SURVEY" FOR CHICK-FIL-A PREPARED BY CONTROL POINT ASSOCIATES, INC., SOUTHBOURGH, MA, SCALE 1"=20', REVISED THROUGH 12/20/15, OR LATEST EDITION, 2 SHEETS.
 - GEOTECHNICAL/GEOTECHNICAL ENGINEERING REPORT, PREPARED BY HALEY ALDRICH, DATED 05/26/15.
 - ENVIRONMENTAL: "PHASE I ENVIRONMENTAL SITE ASSESSMENT", PREPARED BY BL COMPANIES, DATED 06/18/07.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

- ALL ACCESSIBLE (AKA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 28 C.F.R. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PREDICTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

- THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

- ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE OWNER'S REPRESENTATIVE AND BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

- ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RECONSTRUCTED OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORDS WRITTEN NOTIFICATION OF SAME AND THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

- CONTRACTOR MUST REFER TO THE ARCHITECTURAL BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

- DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

- THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH THE CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF STRUCTURES, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

- THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERSECTION CABLES, WIRING CONDUITS AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

- ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEAN, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS AND MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

- THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY. SAME BEING THE RESPONSIBILITY OF ENGINEERS SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.

- ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND HOLD HARMLESS OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RECEIVAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, DAMAGES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEY'S FEES AND COSTS, ARISING OUT OF OR IN ANY MANNER FROM THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

- BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES.

- THE COMPLETION OF THE WORK SHOWN ON THESE PLANS AND THE CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. HEREUNDER, BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION. IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

- NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLYING WITH HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE IDENTIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AND ADDITIONALLY INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM, AND FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEY'S FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

- ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

- ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTORS FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

- OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL, SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL, SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

- ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

- ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

- CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS.

- CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

- AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL KNOWLEDGE OR BELIEF, IN ACCORDANCE WITH COMMON ACCEPTED PROFESSIONAL PRACTICE AND PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL GRADING & UTILITY PLAN NOTES

- LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD. CONSTRUCTION SHALL BE PROCEEDED AT THE LOWEST INVERT POINT OF CONNECTION AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

- CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGES TO EXISTING UNDERGROUND CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT AND TO INITIATE AN ACKNOWLEDGEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD. IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

- THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

- THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER'S REPRESENTATIVE WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

- THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS, DOOR DETAILS, AND EXTERIOR GRADING. THE ARCHITECT WILL DEFINE THE UTILITY SERVICE SIZES. THE CONTRACTOR SHALL NOT COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND, TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLETES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY RE-CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE. WHERE A CONFLICT EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

- WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

- ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

- SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE PROJECT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE PROJECT DOCUMENTS. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS REQUIRED. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTON REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBGRADE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEEMED UNSUITABLE BY THE OWNER'S REPRESENTATIVE OR ENGINEER OF RECORD, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FULLY COMPACTED AS DIRECTED BY THE PROJECT DOCUMENTS. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE PROJECT PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

- ALL FILL, COMPACTATION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE PROJECT PLANS AND SPECIFICATIONS AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO, FILL, COMPACTATION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

- THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

- PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

- DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER'S REPRESENTATIVE AT THE COMPLETION OF WORK.

- WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL UTILITIES AND SERVICES INSTALLED AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

- THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES, AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY NOTIFY, IN WRITING TO THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE OF THE PUBLIC OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAME.

- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 1' ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

- REFER TO THIS SHEET FOR ADDITIONAL NOTES.

- IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

- CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL, SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD PRIOR TO INITIATING WORK ANY WORK.

- WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

- STORM DRAINAGE PIPE UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SIGHT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO ASTM M 2406 AND TYPE 5 (SMOOTH INTERIOR WITH ANGLULAR CORRUPTIONS) WITH GASKET FOR SIGHT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

- SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 26 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN WRITING, OTHERWISE.

- STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

- STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

- SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL.

- SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

- WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

- WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

- CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

- LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.

- CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

GENERAL DEMOLITION NOTES

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

- SURVEY: "ALTAACSM LAND TITLE SURVEY" FOR CHICK-FIL-A PREPARED BY CONTROL POINT ASSOCIATES, INC., SOUTHBOURGH, MA, SCALE 1"=20', DATED 12/20/15, OR LATEST EDITION, 2 SHEETS.

- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

- BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

- CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH THE OWNER'S REPRESENTATIVE AND BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY THE OWNER'S REPRESENTATIVE AND BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR TO:

- OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.

- NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, THE OWNER'S REPRESENTATIVE, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 7 HOURS PRIOR TO THE START OF WORK.

- INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.

- IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.

- LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

- PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

- ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDERS FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNERS REPRESENTATIVE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

- COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS TO BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

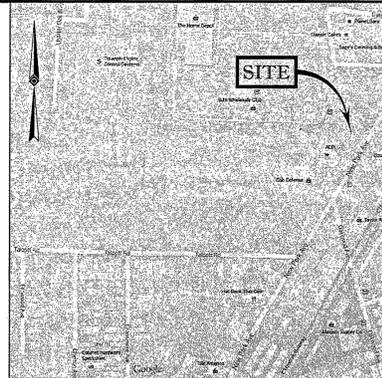
- IF THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.

- CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.

- THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.

- THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S REPRESENTATIVE, OWNER'S STRUCTURAL

- LEGEND**
- 124 --- EXISTING CONTOUR
 - 125 --- EXISTING SPOT ELEVATION
 - X 123.45 EXISTING TOP OF CURB ELEVATION
 - X 123.45 EXISTING GUTTER ELEVATION
 - X 123.45 EXISTING TOP OF WALL ELEVATION
 - X 123.45 EXISTING BOTTOM OF WALL ELEVATION
 - X 123.45 EXISTING FINISHED FLOOR ELEVATION
 - X 123.45 EXISTING DOOR SILL ELEVATION
 - HYDRANT
 - WATER VALVE
 - G --- APPROX. LOC. UNDERGROUND GAS LINE
 - W --- APPROX. LOC. UNDERGROUND WATER LINE
 - E --- APPROX. LOC. UNDERGROUND WATER LINE
 - UP --- UTILITY POLE
 - UPLP --- UTILITY POLE/LIGHT POLE
 - C/O --- CLEAN OUT
 - Po --- POST
 - PAINTED ARROWS
 - CLF CHAIN LINK FENCE
 - DC DEPRESSED CURB
 - EDC EDGE OF CONCRETE
 - EDP EDGE OF PAVEMENT
 - LSA LANDSCAPED AREA
 - MC METAL COVER
 - (TYP) TYPICAL
 - DMH DRAINAGE/STORM MANHOLE
 - SMH SANITARY/SEWER MANHOLE
 - MH UNKNOWN MANHOLE
 - WMH WATER MANHOLE
 - CB CATCH BASIN OR INLET
 - DEL DELINEATION FLAG
 - PS PARKING SPACE COUNT
 - SWL SOLID WHITE LINE
 - SYL SOLID YELLOW LINE
 - DYL DOUBLE YELLOW LINE
 - DYLL DASHED YELLOW LINE
 - DWL DASHED WHITE LINE
 - BLDG BUILDING
 - EL ELEVATION
 - INV INVERT ELEVATION
 - GRT GRATE ELEVATION
 - PVC POLYVINYL CHLORIDE PIPE
 - HDPE HIGH DENSITY POLYETHYLENE PIPE
 - RCP REINFORCED CONCRETE PIPE
 - MC METAL COVER
 - P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCEMENT



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS

METES AND BOUNDS DESCRIPTION
PROPOSED LEASE AREA
(PORTION OF MAP H13, BLOCK 3776, LOT 511)
TOWN OF WEST HARTFORD
HARTFORD COUNTY
STATE OF CONNECTICUT

BEGINNING AT THE SOUTHWESTERLY MOST CORNER OF THE HEREIN DESCRIBED LEASE AREA, SAID PARCEL BEING DISTANT THE FOLLOWING TWO (2) COURSES FROM THE SOUTHEASTERLY END OF A CURVE CONNECTING THE SOUTHWESTERLY LINE OF JEFFERSON AVENUE WITH THE NORTHERLY LINE OF NEW PARK AVENUE, THAT PROPERTY IN THE TOWN OF WEST HARTFORD, HARTFORD COUNTY, STATE OF CONNECTICUT, BEING AN INTERIOR PORTION OF LOT 511, BLOCK 3776, MAP H13 AS SHOWN ON THE TOWN OF HARTFORD TAX ASSESSORS MAP H13 (N/F ALDI, INC.) BEING SHOWN ENCLOSED BY A PROPOSED LEASE LINE, IN THE VICINITY OF AND NORTHERLY FROM THE NORTHERLY LINE OF NEW PARK AVENUE AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- A. COMMENCING AT THE SOUTHEASTERLY END OF SAID CURVE ALONG THE NORTHERLY LINE OF NEW PARK AVENUE (65' WIDE), SOUTH 30 DEGREES - 43 MINUTES - 38 SECONDS WEST, A DISTANCE OF 407.04 FEET TO A POINT, THENCE:
- B. THROUGH THE INTERIOR OF LOT 511, NORTH 59 DEGREES - 16 MINUTES - 22 SECONDS WEST, A DISTANCE OF 15.00 FEET TO THE POINT AND PLACE OF BEGINNING, AND FROM SAID POINT RUNNING THROUGH THENCE THE FOLLOWING FIVE (5) COURSES THROUGH THE INTERIOR OF LOT 511:

 1. NORTH 59 DEGREES - 16 MINUTES - 22 SECONDS WEST, A DISTANCE OF 101.76 FEET TO A POINT, THENCE;
 2. NORTH 30 DEGREES - 43 MINUTES - 38 SECONDS EAST, A DISTANCE OF 78.80 FEET TO A POINT, THENCE;
 3. SOUTH 59 DEGREES - 06 MINUTES - 16 SECONDS EAST, A DISTANCE OF 81.96 FEET TO A POINT, THENCE;
 4. SOUTH 40 DEGREES - 39 MINUTES - 42 SECONDS EAST, A DISTANCE OF 20.88 FEET TO A POINT, THENCE;
 5. SOUTH 30 DEGREES - 43 MINUTES - 38 SECONDS WEST, A DISTANCE OF 71.89 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 7,937 SQUARE FEET OR 0.182 ACRES.
THIS PROPERTY MAY BE SUBJECT TO ANY RESTRICTIONS, COVENANTS AND/OR EASEMENTS EITHER WRITTEN OR IMPLIED.

MAP H13, BLOCK 3776, LOT 511
N/F LANDS OF
WEST HARTFORD PLACE
CONDOMINIUM
VOL. 2080, PG. 75
DESCRIPTION - PG. 148
FIRST AMENDMENT
VOL. 2257, PG. 1
SECOND AMENDMENT
VOL. 2508, PG. 277
UNIT 1 - BJS
UNIT 2 - HOME DEPOT
UNIT 3 - ALDI, INC.

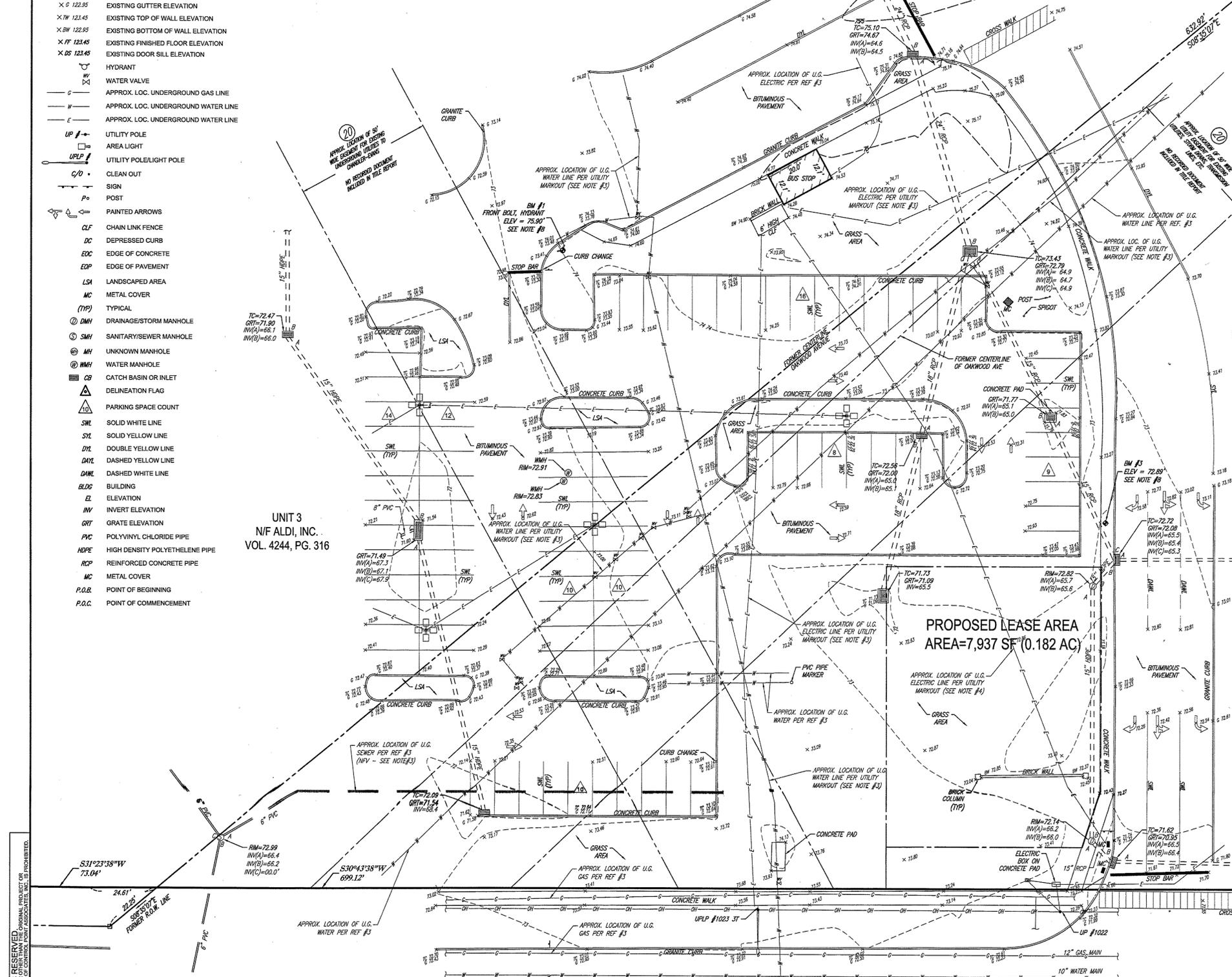
UNIT 3
N/F ALDI, INC.
VOL. 4244, PG. 316

PROPOSED LEASE AREA
AREA=7,937 SF (0.182 AC)

NEW PARK AVENUE
(85' WIDE)

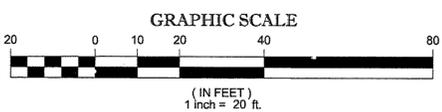
JEFFERSON AVENUE

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 11(b), 13 & 14 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 4-15-15.



UTILITIES:
THE FOLLOWING COMPANIES WERE NOTIFIED AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.

UTILITY COMPANY	PHONE NUMBER
COMCAST OF CONN., INC.	866-774-3128
AT&T COMMUNICATIONS	877-636-1729
FIBER TECHNOLOGIES NETWORKS, LLC	866-897-5100
LEVEL 3 COMMUNICATIONS, LLC	877-258-8353
NORTHEAST UTILITIES SERVICE COMPANY	800-286-2000
CONN. NATIONAL GAS CORP.	860-456-8754
KINDER MORGAN, INC.	205-325-3509
METROPOLITAN DISTRICT	860-247-6497



CERTIFIED TO:
CHICK-FIL-A, INC.
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 11(b), 13 & 14 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 4-15-15.

THIS IS TO CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND IS SUBSTANTIALLY CORRECT TO THE DEGREE OF ACCURACY SHOWN HEREON.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL.



JOHN P. LYNCH
CONNECTICUT PROFESSIONAL LAND SURVEYOR #18867

12/2/2015 DATE

No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
5	REVISED TO CHANGE DESCRIPTION FOR EXCEPTION #11	N/A	R.D.N.	J.P.L.	12-02-15
4	REVISED PER NEW TITLE REPORT AND ATTORNEY COMMENTS	N/A	R.D.N.	J.P.L.	10-21-15
3	REVISE TITLE REPORT COMMENTS	N/A	R.D.N.	J.P.L.	9-3-15
2	LEASE LINE AND WRITTEN DESCRIPTION ADDED	N/A	R.D.N.	J.P.L.	8-31-15
1	ADDED LOCATED WATER AND ELECTRIC LINES	T.M.	J.M.B.	J.P.L.	7-13-15

ALTA/ACSM LAND TITLE SURVEY
CHICK-FIL-A
511 NEW PARK AVENUE
TOWN OF WEST HARTFORD
HARTFORD COUNTY
CONNECTICUT

CONTROL POINT ASSOCIATES, INC.
332 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.948.3000 • 508.948.3003 FAX

MANHATTAN, NY 646.780.0411
MT. LAUREL, NJ 609.857.2099
CHALFOUNT, PA 215.712.9800
WARREN, NJ 908.668.0999

REVIEWED: J.M.R. APPROVED: J.P.L. DATE: 8-31-15 SCALE: 1"=20' FILE NO: CM15103 DWG. NO: 1 OF 2

NOTES:

- THIS IS A RESURVEY AND TOPOGRAPHIC SURVEY PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS A-2 AND T-2 SURVEY AS DEFINED IN THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B, EFFECTIVE DATE JUNE 21, 1996. THIS SURVEY IS ALSO PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, ADOPTED ON SEPTEMBER 28, 1996, BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC. THE BOUNDARY LINES SHOWN HEREON ARE BASED UPON A RESURVEY OF THE SUBJECT PROPERTY.
- PROPERTY KNOWN AS BLOCK 3776, LOT 511 ON THE TOWN OF WEST HARTFORD, HARTFORD COUNTY, CONNECTICUT TAX ASSESSOR MAP H13.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE ANY EXCAVATION IS TO BEGIN. ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. (SEE SHEET 1 OF 2 FOR AREA OF UTILITY LOCATIONS)
- AREA = 1,548,142 SQ. FT. OR 35.540 ACRES
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT BY CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER CTS164420C-HT, EFFECTIVE DATE 6-23-2015, AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. WHERE THE FOLLOWING DOCUMENTS APPEAR IN SCHEDULE B, SECTION 2.

GENERAL EXCEPTIONS 1 THRU 6 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON

- WATER CAVEAT TO THE METROPOLITAN DISTRICT DATED AUGUST 12, 1964 AND RECORDED IN VOLUME 287 AT PAGE 222 OF THE WEST HARTFORD LAND RECORDS. MAY AFFECT CONDOMINIUM - WATER MAIN IN FORMER OAKWOOD AVENUE BETWEEN FLATBUSH AVE AND NEW PARK AVENUE. EXISTING WATERLINES SHOWN, SEE SHEET 1. FORMER OAKWOOD AVE. DOES NOT CROSS LEASE AREA.
- TERMS AND PROVISIONS SET FORTH IN AN AGREEMENT BY AND BETWEEN COLT FIREARMS DIVISION, COLT INDUSTRIES OPERATING CORP. AND THE TOWN OF WEST HARTFORD DATED OCTOBER 20, 1980 AND RECORDED IN VOLUME 752 AT PAGE 234 OF THE WEST HARTFORD LAND RECORDS. - NOT PLOTTABLE, UNABLE TO DETERMINE IF AFFECTED CONDOMINIUM OR LEASE AREA.
- EASEMENT IN FAVOR OF THE TOWN OF WEST HARTFORD DATED JULY 16, 1984 AND RECORDED IN VOLUME 840 AT PAGE 48 OF THE WEST HARTFORD LAND RECORDS. - PUBLIC EASEMENT FOR A PORTION OF FORMER OAKWOOD AVE. DOES NOT AFFECT CONDOMINIUM OR LEASE AREA.
- TRAFFIC INVESTIGATION REPORTS FOR WEST HARTFORD PLACE, NOT WITHIN SCOPE OF SURVEY.
- EASEMENT IN FAVOR OF THE CONNECTICUT NATURAL GAS CORPORATION DATED SEPTEMBER 30, 1994 AND RECORDED IN VOLUME 1998 AT PAGE 330 OF THE WEST HARTFORD LAND RECORDS - CONDOMINIUM AND LEASE AREA INCLUDED IN LAND DESCRIBED IN SCHEDULE A OF THE DEED. UNABLE TO PLOT EASEMENT, REFERENCED UTILITY MAP IN DEED NOT PROVIDED. PARTIAL RELEASE IN VOLUME 3477 PG 51 NOTED ON DEED IS FOR LAND ALONG FLATBUSH AVE AND QUAKER LANE SOUTH. PARTIAL RELEASE DOES NOT AFFECT CONDOMINIUM OR LEASE AREA.
- TERMS, CONDITIONS, AND AGREEMENTS SET FORTH IN A CONSENT AGREEMENT BY AND BETWEEN COLT INDUSTRIES OPERATING CORPORATION AND THE STATE OF CONNECTICUT DATED JULY 11, 1986 AND RECORDED IN VOLUME 1088 AT PAGE 287 OF THE WEST HARTFORD LAND RECORDS. - NOT PLOTTABLE, PROPERTIES INCLUDED NOT DESCRIBED.
- TERMS, COVENANTS, CONDITIONS, RESERVATIONS, EASEMENTS, AND AGREEMENTS SET FORTH IN THE DECLARATION OF CONDOMINIUM OF WEST HARTFORD PLACE CONDOMINIUM DATED FEBRUARY 15, 1996 AND RECORDED IN VOLUME 2080 AT PAGE 75 OF THE WEST HARTFORD LAND RECORDS; AMENDED BY VIRTUE OF A FIRST AMENDMENT TO DECLARATION OF CONDOMINIUM WEST HARTFORD PLACE CONDOMINIUM DATED DECEMBER 4, 1997 AND RECORDED IN VOLUME 2257 AT PAGE 1 OF THE SAID LAND RECORDS; AS FURTHER AMENDED BY VIRTUE OF A SECOND AMENDMENT TO DECLARATION OF CONDOMINIUM WEST HARTFORD PLACE CONDOMINIUM DATED JUNE 10, 1998 AND RECORDED IN VOLUME 2508 AT PAGE 277 OF THE SAID LAND RECORDS. - BLANKET IN NATURE, AFFECTS CONDOMINIUM AND LEASE AREA. CONDOMINIUM CONSISTS OF 3 UNITS, UNIT NUMERIC PLAN, VOL. 2257, PG. 5, PARTIALLY LEGIBLE, UNABLE TO PLOT UNIT LIMITS.
- EASEMENT IN FAVOR OF THE TOWN OF WEST HARTFORD DATED SEPTEMBER 1, 1988 AND RECORDED IN VOLUME 1382 AT PAGE 97 OF THE WEST HARTFORD LAND RECORDS. - SIGN EASEMENT - AFFECTS CONDOMINIUM, DOES NOT AFFECT LEASE AREA.
- RESERVATION OF AN EASEMENT SET FORTH IN A BARGAIN AND SALE DEED FROM COLTEC INDUSTRIES, INC. TO WEST HARTFORD ASSOCIATES DATED MARCH 4, 1996 AND RECORDED IN VOLUME 2080 AT PAGE 60 OF THE WEST HARTFORD LAND RECORDS. - 25' DRAIN AND STORMWATER EASEMENT BENEFITS CONDOMINIUM AND LEASE AREA LOCATED ON LOT 545.
- EASEMENT FROM WEST HARTFORD ASSOCIATES TO THE TOWN OF WEST HARTFORD DATED MARCH 4, 1996 AND RECORDED IN VOLUME 2080 AT PAGE 70 OF THE WEST HARTFORD LAND RECORDS. - EASEMENT FOR HISTORICAL SIGN AT SOUTHWEST CORNER OF FLATBUSH AVE AND FORMER OAKWOOD AVE. AFFECTS CONDOMINIUM PARCEL, DOES NOT AFFECT LEASE AREA.
- ELECTRIC DISTRIBUTION EASEMENT FROM WEST HARTFORD PLACE CONDOMINIUM OWNERS ASSOCIATION, INC. TO THE CONNECTICUT LIGHT AND POWER COMPANY DATED JULY 17, 1996 AND RECORDED IN VOLUME 2117 AT PAGE 9 OF THE WEST HARTFORD LAND RECORDS; AS PARTIALLY ASSIGNED TO SOUTHERN NEW ENGLAND TELEPHONE COMPANY BY VIRTUE OF A PARTIAL ASSIGNMENT OF EASEMENT RIGHTS DATED DECEMBER 22, 1997 AND RECORDED IN VOLUME 2512 AT PAGE 120 OF THE LAND RECORDS. (AS TO COMMON AREAS) - MAP NOT PROVIDED, UNABLE TO COMMENT
- DECLARATION OF ENVIRONMENTAL LAND USE RESTRICTION AND GRANT OF EASEMENT BY AND BETWEEN WEST HARTFORD PLACE CONDOMINIUM OWNERS ASSOCIATION, INC. AND THE COMMISSIONER OF ENVIRONMENT PROTECTION OF THE STATE OF CONNECTICUT DATED MAY 29, 1998 AND RECORDED IN VOLUME 2963 AT PAGE 330 OF THE WEST HARTFORD LAND RECORDS; AS AFFECTED BY A SUBORDINATION AGREEMENT BY WEST HARTFORD CONDOMINIUM ASSOCIATION, INC. DATED OCTOBER 25, 1999 AND RECORDED IN VOLUME 2513 AT PAGE 323 OF THE SAID LAND RECORDS. (AS TO ALL UNITS AND COMMON AREAS) - BLANKET IN NATURE, AFFECTS CONDOMINIUM AND LEASE AREA.
- ELECTRIC DISTRIBUTION EASEMENT FROM WEST HARTFORD PLACE CONDOMINIUM OWNERS ASSOCIATION, INC. TO THE CONNECTICUT LIGHT AND POWER COMPANY DATE APRIL 2, 2002 AND RECORDED IN VOLUME 2905 AT PAGE 200 OF THE WEST HARTFORD LAND RECORDS; AS PARTIALLY ASSIGNED TO THE SOUTHERN NEW ENGLAND TELEPHONE COMPANY BY VIRTUE OF A PARTIAL ASSIGNMENT OF EASEMENT RIGHTS DATED DECEMBER 22, 2003 AND RECORDED IN VOLUME 3478 AT PAGE 87 OF THE SAID LAND RECORDS - AFFECTS CONDOMINIUM - DOES NOT AFFECT LEASE AREA - AS SHOWN HEREON
- NOTES, NOTATIONS, 25' WIDE STORM DRAIN EASEMENT, NEW 50' WIDE EASEMENT FOR EXISTING UNDERGROUND UTILITIES, 50' WIDE NEW UTILITY EASEMENT FOR EXISTING UTILITIES, STORM DRAINS, TRANSMISSION LINES, ETC., UNDERGROUND OIL SEPARATION TANKS, CLAP EASEMENT ALONG SOUTHWESTERLY BOUNDARY, DRAINAGE PIPES CROSSING THE LAND, WATER MAINS CROSSING THE LAND, RITUALITY CABINETS AND BUS SHELTER SITUATED ON THE LAND, AND CONCRETE SLAB OVER WATER FILLED CHAMBER SITUATED ON THE LAND, ALL AS SHOWN ON A SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY" PROPOSED ALDI, INC. 511 PARK AVENUE WEST HARTFORD, CONNECTICUT DATED 6/8/07 BY JENNIFER MARKS, L.S. - RECORDED DOCUMENTS CREATING EASEMENTS NOT INCLUDED IN TITLE REPORT.
- TRAFFIC INVESTIGATION REPORT ISSUED BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION DATED AUGUST 19, 2008 AND RECORDED IN VOLUME 4326 AT PAGE 154 OF THE WEST HARTFORD LAND RECORDS. SEE ALSO CERTIFICATE NO. 1210-B ISSUED BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION DATED OCTOBER 29, 2008 AND RECORDED IN VOLUME 4360 AT PAGE 87 OF THE SAID LAND RECORDS. - AFFECTS CONDOMINIUM, FOR ALDI STORE, APPROXIMATE LOCATION SHOWN ON SHEET 1 OF 2 - MAY AFFECT LEASE AREA.
- CERTIFICATE NO. 1210-B BY THE STATE DEPARTMENT OF TRANSPORTATION DATED 10/29/2008 RECORDED IN VOLUME 4360 AT PAGE 87 OF THE WEST HARTFORD LAND RECORDS. - AFFECTS CONDOMINIUM, FOR ALDI STORE, APPROXIMATE LOCATION SHOWN ON SHEET 1 OF 2 - MAY AFFECT LEASE AREA.

- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
- TEMPORARY BENCH MARKS SET:
- TBM-1: FRONT BOLT IN HYDRANT ON WEST SIDE OF PROPERTY. ELEVATION = 75.90.
 - TBM-2: BOLT IN AREA LIGHT ALONG ENTRANCE WAY FROM NEW PARK AVENUE. ELEVATION=75.10.
 - TBM-3: MAG NAIL IN CONCRETE WALK ON NORTH SIDE OF PROPERTY. ELEVATION = 72.89.
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS PLAN HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - PRIVATE ON-SITE UTILITIES WERE MARKED OUT BY UNDERGROUND SURVEYING, LLC
 - PER CONTRACTUAL AGREEMENT WITH CLIENT, THE IMPROVEMENTS HAVE NOT BEEN SHOWN ON SHEET 2 OF 2.

MAP G13, BLOCK 0987, LOT 001
N/F LANDS OF
TRIUMPH ENGINE CONTROL SYSTEMS LLC

MAP H13, BLOCK 3776, LOT 545
N/F LANDS OF
NPA HARTFORD LLC

MAP H13, BLOCK 3776, LOT 511
N/F LANDS OF
WEST HARTFORD PLACE
CONDOMINIUM
VOL. 2080, PG. 75
DESCRIPTION - PG. 148
FIRST AMENDMENT
VOL. 2257, PG. 1
SECOND AMENDMENT
VOL. 2508, PG. 277
UNIT 1 - BJS
UNIT 2 - HOME DEPOT
UNIT 3 - ALDI, INC.

MAP H13, BLOCK 2941, LOT 20
N/F LANDS OF
500 OAKWOOD AVENUE LLC

MAP H12, BLOCK 3961, LOT 470
N/F LANDS OF
CONNECTICUT VETERINARY
CENTER, INC.

NOTES:

THIS COMPILATION MAP WAS COMPILED FROM DEEDS AND OTHER MAPS. IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS A RESULT OF A FIELD SURVEY AND IS SUBJECT TO CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.

BOUNDARY INFORMATION SHOWN IS BASED UPON THE REFERENCED MAPS AND EXHIBIT A OF THE TITLE REPORT. A BOUNDARY SURVEY HAS NOT NOT BEEN PERFORMED.



- REFERENCES:**
- THE TAX ASSESSOR'S MAP #H13, BLOCK 3776, LOT 511 OF THE TOWN OF WEST HARTFORD, HARTFORD COUNTY, CONNECTICUT.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, TOWN OF WEST HARTFORD, HARTFORD COUNTY, PANEL 501 OF 875," COMMUNITY-PANEL NUMBER 095082 0501 F, MAP REVISED: SEPTEMBER 08, 2008.
 - MAP ENTITLED "IMPROVEMENT LOCATION SURVEY, ALDI STORE #69, 511 NEW PARK AVE," BY BL COMPANIES, DATED DECEMBER 3, 2009.
 - MAP ENTITLED "WATER BUREAU THE METROPOLITAN DISTRICT HARTFORD, CONNECTICUT," DATED SEPTEMBER 12, 1992.
 - MAP ENTITLED "NEW PARK AVE," SHOWING UNDERGROUND SEWER LINES PROVIDED BY THE METROPOLITAN SEWER DISTRICT.
 - MAP ENTITLED "E30," PROVIDED BY THE TOWN OF WEST HARTFORD, SHOWING STREET LAYOUT.
 - MAP ENTITLED "COMPLIATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS LAND OF BJS RETAIL FUELING FACILITY," PREPARED BY GODFREY-HOFFMAN ASSOCIATES, LLC DATED OCTOBER 3, 2001 FILED IN THE TOWN OF WEST HARTFORD AS MAP 8618.

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:

EXHIBIT "A"

ALL THAT CERTAIN REAL PROPERTY KNOWN AND DESIGNATED AS UNIT THREE BEING A PART OF WEST HARTFORD PLACE CONDOMINIUM, A CONDOMINIUM COMMON INTEREST COMMUNITY SITUATED ON NEW PARK AVENUE IN THE TOWN OF WEST HARTFORD, COUNTY OF HARTFORD AND STATE OF CONNECTICUT, TOGETHER WITH THE UNDIVIDED INTEREST OF SAID UNIT IN THE CONDOMINIUM DOCUMENTS (AS SAID TERM IS DEFINED IN THE DECLARATION) AND TOGETHER ALSO WITH ANY AND ALL LIMITED COMMON ELEMENTS ALLOCATED TO SAID UNIT.

UNIT THREE AND THE COMMON ELEMENTS ARE MORE FULLY DEFINED, IDENTIFIED AND DESCRIBED IN THE "DECLARATION OF WEST HARTFORD PLACE" DATED FEBRUARY 15, 1996, AND IN THE SCHEDULES AND EXHIBITS THERETO, AND RECORDED IN VOLUME 2080 AT PAGE 75 OF THE WEST HARTFORD LAND RECORDS.

TOGETHER WITH THE EASEMENTS SET FORTH OR REFERRED TO IN THE CONDOMINIUM DOCUMENTS, AS THEY MAY BE AMENDED OR SUPPLEMENTED FROM TIME TO TIME.

ZONING INFORMATION

SDDIG (G) DISTRICT, SPECIAL DEVELOPMENT

DISTRICT OVERLAY, GENERAL INDUSTRIAL DISTRICT

SOURCE: ZONING MAP

TOWN OF WEST HARTFORD

ITEMS	REQUIRED
MIN LOT AREA	N/A
MIN FRONTAGE	N/A
MIN FRONT YARD (BUILDINGS)	BUILDING LINE, INCLUDING TYPE A SCREENING
MIN FRONT YARD (PARKING)	10' INCLUDING TYPE C SCREENING
MIN SIDE & REAR YARD (BUILDINGS)	REFER TO ZONING ATTACHMENT 8 FOR DETAILS
MIN SIDE & REAR YARD (PARKING)	SHALL BE PROVIDED WITH TYPE C SCREENING
MAX BUILDING HEIGHT	4 STORIES OR 45'

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH FROM CHAPTER 177 OF THE TOWN OF WEST HARTFORD, CT, AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

NO.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
5	REVISED TO CHANGE DESCRIPTION FOR EXCEPTION #11	N/A	R.D.N.	J.P.L.	12-02-15
4	REVISED PER NEW TITLE REPORT AND ATTORNEY COMMENTS	N/A	R.D.N.	J.P.L.	10-28-15
3	REVISE TITLE REPORT COMMENTS	N/A	R.D.N.	J.P.L.	9-3-15
2	LEASE LINE AND WRITTEN DESCRIPTION ADDED	N/A	R.D.N.	J.P.L.	8-31-15
1	ADDED LOCATED WATER AND ELECTRIC LINES	T.M.	J.M.B.	J.P.L.	7-8-15

CERTIFIED TO:
CHICK-FIL-A, INC.
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 11(b), 13 & 14 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 4-15-15.

THIS IS TO CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND IS SUBSTANTIALLY CORRECT TO THE DEGREE OF ACCURACY SHOWN HEREON.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL.

JOHN P. LYNCH
CONNECTICUT PROFESSIONAL LAND SURVEYOR #18867

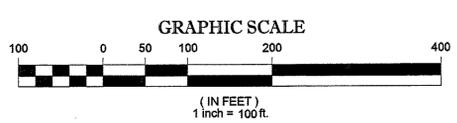
12/2/2015
DATE

ALTA/ACSM LAND TITLE SURVEY
CHICK-FIL-A
511 NEW PARK AVENUE
MAP H13, BLOCK 3776, LOT 511
TOWN OF WEST HARTFORD
HARTFORD COUNTY
CONNECTICUT

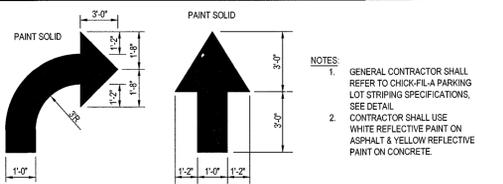
CONTROL POINT ASSOCIATES, INC.
332 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX

MANHATTAN, NY 646.780.0411
MT. LAUREL, NJ 609.857.2399
CHAPEL HILL, NC 215.712.9800
WARREN, NJ 908.668.0099

REVISION: J.M.R. APPROVED: J.P.L. DATE: 8-31-15 SCALE: 1"=100' FILE NO: CM15103 DWR NO: 2 OF 2

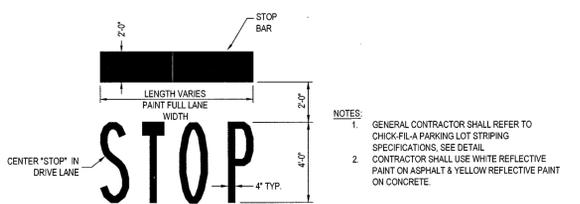


CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. CHICK-FIL-A, INC. IS THE TRADEMARK OF CHICK-FIL-A, INC. THE TRADEMARK OF CHICK-FIL-A, INC. IS THE TRADEMARK OF CHICK-FIL-A, INC. THE TRADEMARK OF CHICK-FIL-A, INC. IS THE TRADEMARK OF CHICK-FIL-A, INC.



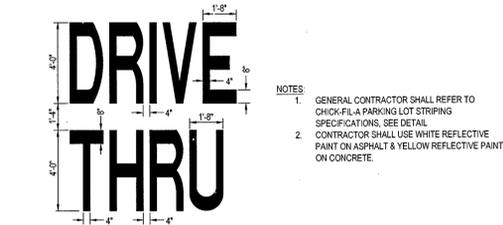
DIRECTIONAL ARROW

N.T.S.



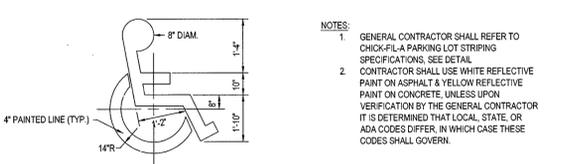
STOP LINE GRAPHIC

N.T.S.



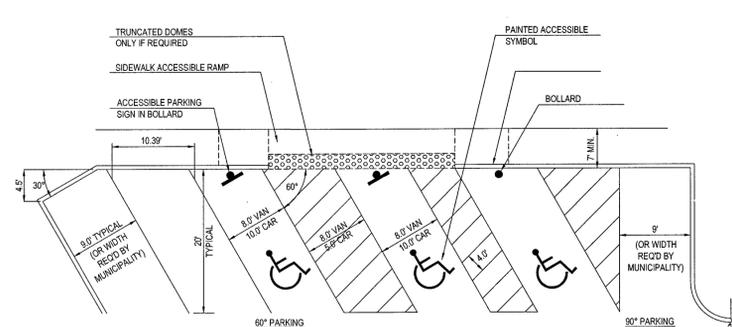
DRIVE-THRU GRAPHICS

N.T.S.



PAINTED ACCESSIBLE SYMBOL

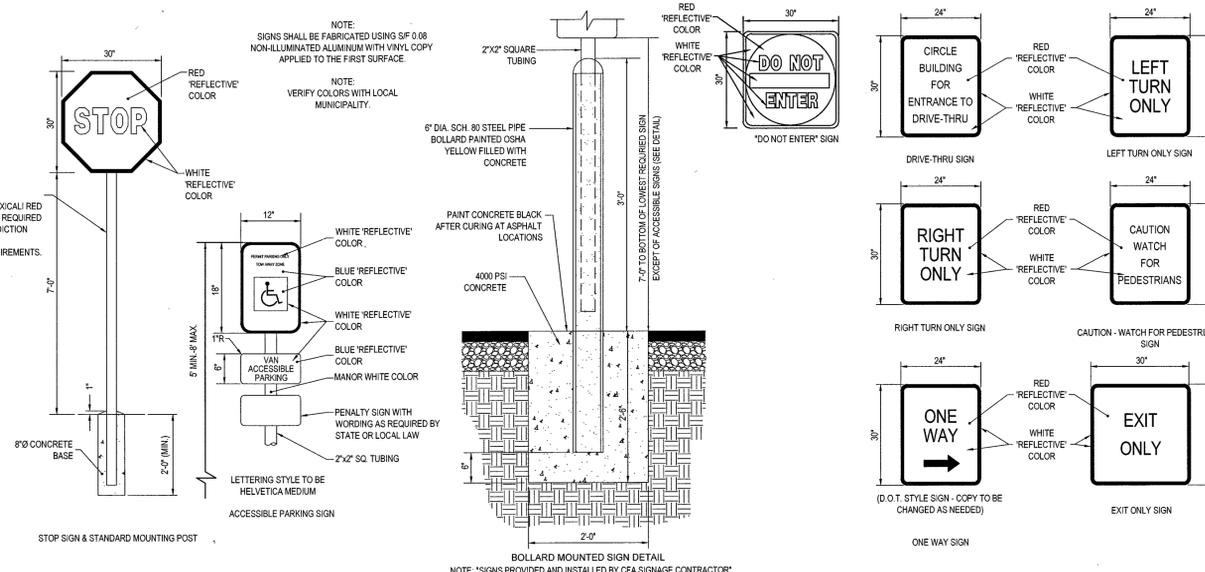
N.T.S.



STANDARD PARKING STALL

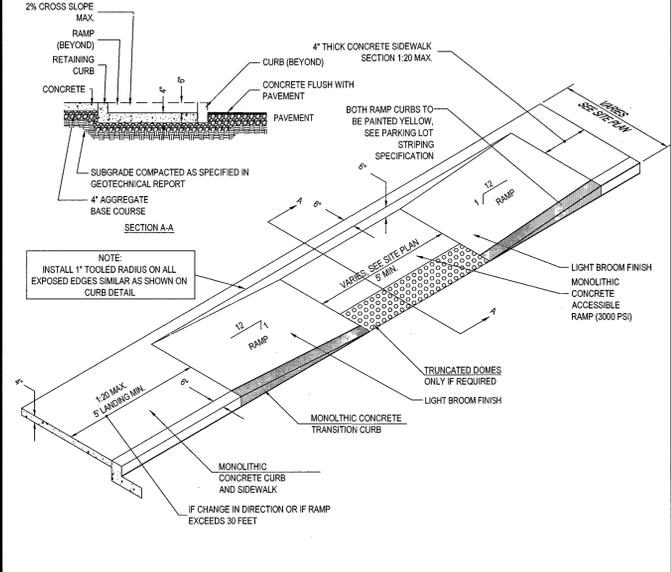
N.T.S.

- PARKING LOT STRIPING SPECIFICATIONS:**
- STANDARDS:
- ALWAYS FOLLOW ALL APPLICABLE GOVERNING AUTHORITY'S STANDARDS.
 - SURFACES SHOULD BE CLEAN, DRY, AND FREE FROM LOOSE OR PEELING PAINT. REMOVE ALL OIL, DUST, GREASE, DIRT, AND OTHER FOREIGN MATERIAL TO ENSURE ADEQUATE ADHESION. DO NOT APPLY WHEN AIR OR SURFACE TEMPERATURES ARE BELOW 40°F.
 - APPLY SHERWIN-WILLIAMS SETFAST PREMIUM ALKYLID ZONE MARKING PAINT A300 WHITE OR A302 YELLOW USING EITHER AN ARLESS OR CONVENTIONAL LINE STRIPING EQUIPMENT. USE THE FOLLOWING SETTINGS AS A GUIDE. ACTUAL SETTINGS DEPEND ON ATMOSPHERIC CONDITIONS AT THE TIME OF APPLICATION:
- | | |
|-----------|---|
| AIRLESS | 1800-2700 PSI |
| PRESSURE | #8 |
| HOSE | INTERNAL MIX #709 |
| TIP | 45-80 PSI |
| FILTER | 40-70 PSI |
| REDUCTION | ONLY IF NECESSARY, UP TO 1PT/GAL VMSP NAPTHA R1K3 |
- CONVENTIONAL:
- | | |
|----------------------|---|
| GUN | BLINKS 21 (BLEEDER) OR EQUIVALENT |
| FLUID NOZZLE | #68 |
| AIR NOZZLE | INTERNAL MIX #709 |
| ATOMIZATION PRESSURE | 45-80 PSI |
| FLUID PRESSURE | 40-70 PSI |
| REDUCTION | ONLY IF NECESSARY, UP TO 1PT/GAL VMSP NAPTHA R1K3 |
- MIX PAINT THOROUGHLY BY BOXING, STIRRING, OR POWER AGITATION BEFORE USE. APPLY AT 6 MILS NET TO ACHIEVE A SPREAD RATE OF 400-500 LINEAL FEET OF STANDARD 4" STRIPE PER GALLON. APPLIED AT THIS RATE AT 70 DEGREES F AND 50% RELATIVE HUMIDITY. PAINT WILL DRY WITH NO TRAFFIC PICKUP AFTER 20 MINUTES.
- GENERAL CONTRACTOR TO RE-STRIP THE LOT 45 DAYS AFTER OPENING.



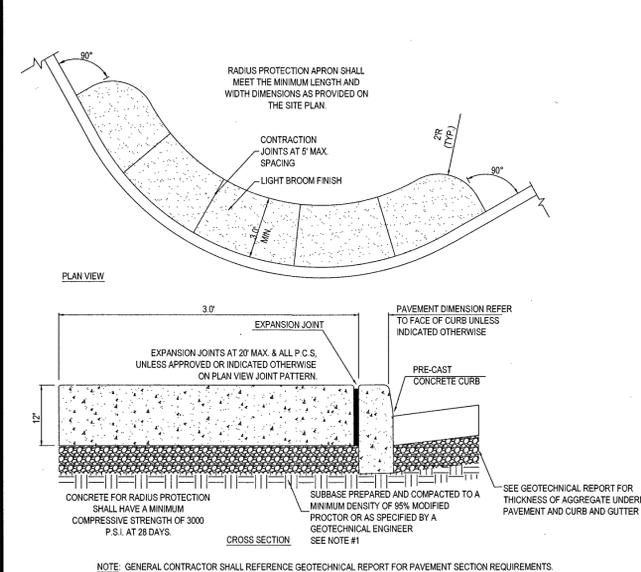
DIRECTIONAL SIGNAGE

N.T.S.



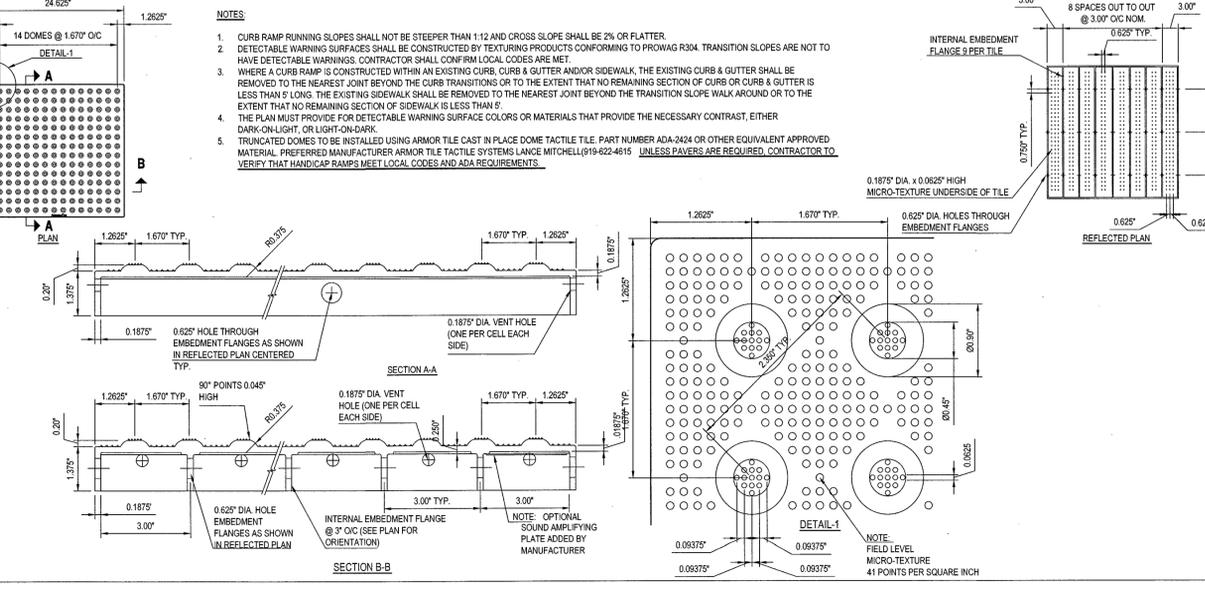
SIDEWALK ACCESSIBLE RAMP

N.T.S.



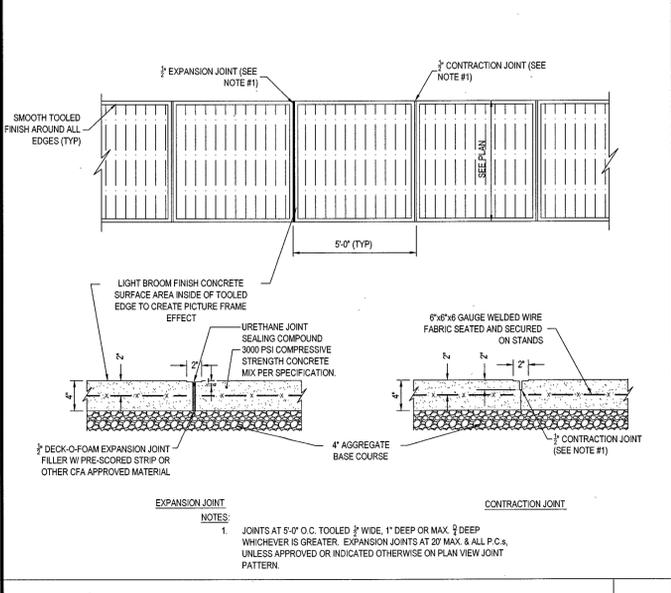
LANDSCAPE & IRRIGATION PROTECTOR

N.T.S.



TRUNCATED DOMES - CAST IN PLACE

N.T.S.



TYPICAL CONCRETE SIDEWALK

N.T.S.

NOTE:

THE INFORMATION SHOWN ON THIS DETAIL SHEET REPRESENTS PROTOTYPICAL DESIGN DETAILS PROVIDED TO OUR OFFICE BY CHICK-FIL-A. THE DETAILED INFORMATION SHOWN HEREON IS INCLUDED WITHIN THIS PLAN PACKAGE AT CHICK-FIL-A'S REQUEST AND IS PRESENTED BY BOHLER ENGINEERING AS BEING FOR INFORMATIONAL PURPOSES ONLY. THE ADEQUACY OF THE DESIGN OF THESE DETAILS HAS NOT BEEN CONFIRMED BY BOHLER ENGINEERING. BOHLER ENGINEERING HAS NOT PREPARED, RECEIVED NOR REVIEWED ANY SITE SPECIFIC DESIGN INFORMATION AS IT RELATES TO THE DEVELOPMENT OF THESE DETAILS NOR CONFIRMED THE ADEQUACY OF SAME FOR USE IN CONSTRUCTION OR COMPLIANCE WITH APPLICABLE CODES. BOHLER ENGINEERING SHALL BE HELD HARMLESS FOR THE USE AND IMPLEMENTATION OF THESE DETAILS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE GENERAL DESIGN INTENT SHOWN IS CONSTRUCTED IN SUCH A MANNER AS TO CONFORM WITH ALL APPLICABLE CODES, REQUIREMENTS, INDUSTRY STANDARDS AND THAT THE INSTALLATION OF SAME IS ADEQUATE FOR SITE, SOIL AND/OR CONSTRUCTION CONDITIONS. SHOULD CONDITIONS OR CODE REQUIREMENTS WARRANT, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE A LICENSED REGISTERED PROFESSIONAL PREPARE SITE SPECIFIC DESIGNS AND DETAILS PRIOR TO COMMENCING WORK.



REVISIONS

#	DATE	COMMENT	BY
1	1/20/16	DRAC	JNF
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			



BOHLER ENGINEERING

362 TURNPIKE ROAD
SOUTH BROMFIELD, MA 01572
Phone: (508) 480-8900
Fax: (508) 480-8900
www.BohlerEngineering.com

LAND SURVEYING, SITE LAYOUT, ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, PAVEMENT, TRANSPORTATION SERVICES, PERMITS, DESIGN, CONSTRUCTION MANAGEMENT, CONSTRUCTION SUPERVISION, ASBESTOS ABATEMENT, ENVIRONMENTAL INVESTIGATION, GEOTECHNICAL ENGINEERING, SOIL REMEDIATION, EROSION CONTROL, AND SOIL CORRECTION.

BOHLER ENGINEERING

362 TURNPIKE ROAD
SOUTH BROMFIELD, MA 01572
Phone: (508) 480-8900
Fax: (508) 480-8900
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STORE #03673
S08H-A
511 NEW PARK AVENUE
TOWN OF W. HARTFORD
HARTFORD COUNTY, CT
MAP #H13, BLOCK #3776,
LOT #511

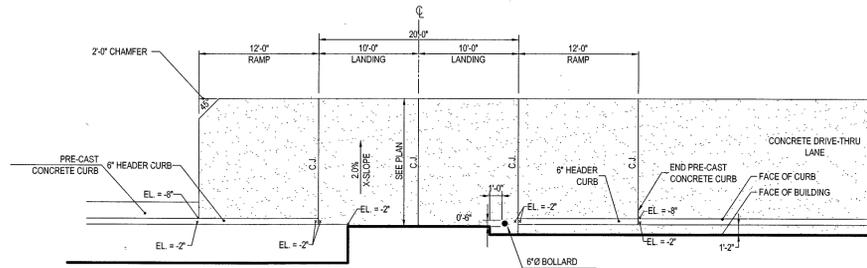
SHEET TITLE
CHICK-FIL-A STANDARD DETAILS

DWG EDITION 02.4

Preliminary
 80% Submittal
 For Construction

Job No. : W151028
Store : 03673
Date : 02/12/16
Drawn By : CFD/JNF
Checked By : ADJUGS

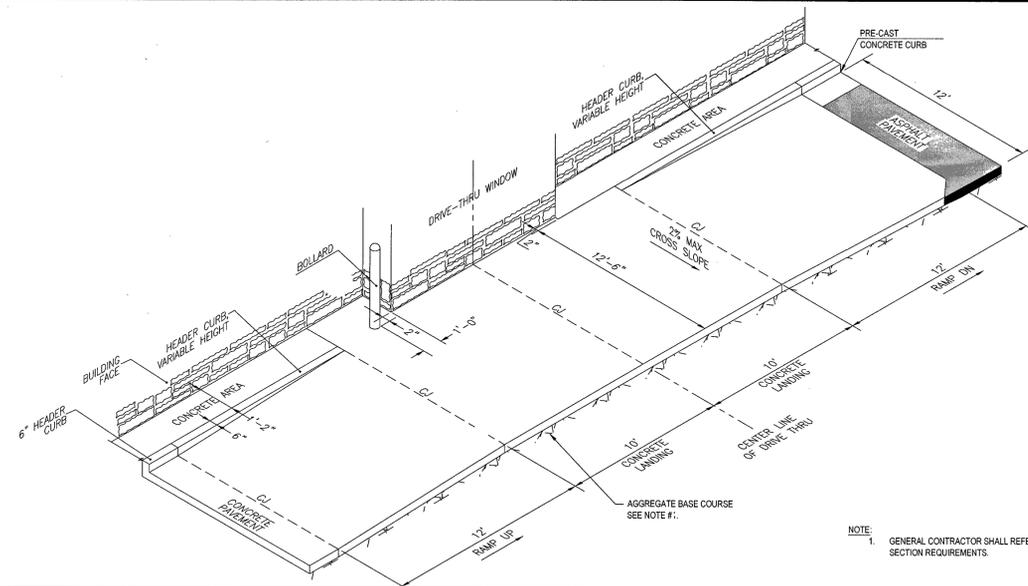
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NOTE: ALL ELEVATIONS ON THIS DETAIL ARE RELATIVE TO FFE = 0'

DRIVE-THRU PLAN

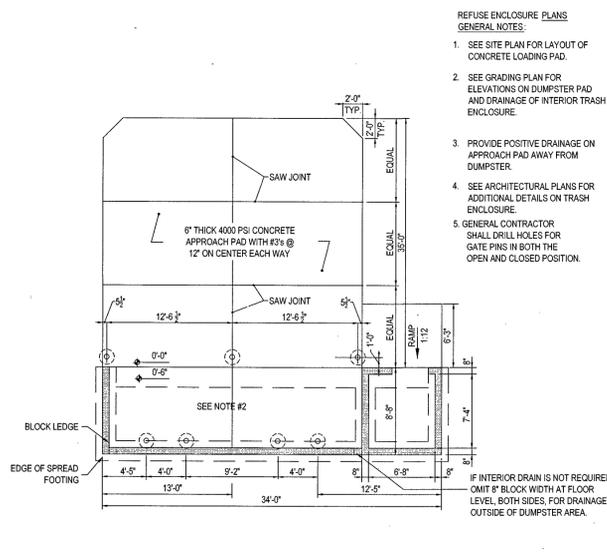
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NOTE: GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

DRIVE-THRU ISOMETRIC

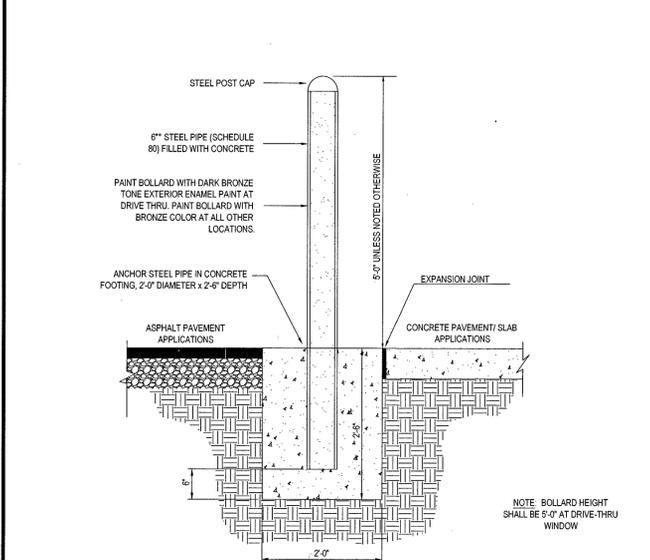
N.T.S.



- REFUSE ENCLOSURE PLANS
GENERAL NOTES:
1. SEE SITE PLAN FOR LAYOUT OF CONCRETE LOADING PAD.
 2. SEE GRADING PLAN FOR ELEVATIONS ON DUMPSTER PAD AND DRAINAGE OF INTERIOR TRASH ENCLOSURE.
 3. PROVIDE POSITIVE DRAINAGE ON APPROACH PAD AWAY FROM DUMPSTER.
 4. SEE ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS ON TRASH ENCLOSURE.
 5. GENERAL CONTRACTOR SHALL DRILL HOLES FOR GATE PINS IN BOTH THE OPEN AND CLOSED POSITION.

IF INTERIOR DRAIN IS NOT REQUIRED, OMIT 6\"/>

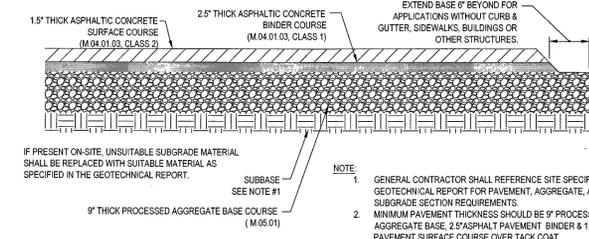
REFUSE ENCLOSURE FOUNDATION PLAN



NOTE: BOLLARD HEIGHT SHALL BE 5'-0\"/>

PICK UP WINDOW BOLLARD

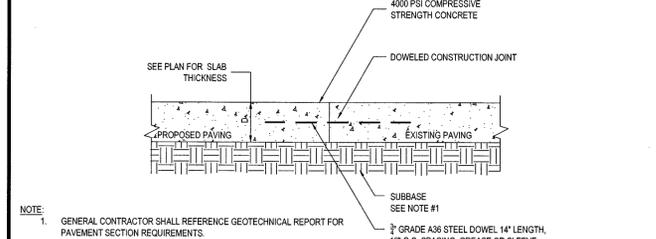
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- NOTE: GENERAL CONTRACTOR SHALL REFERENCE SITE SPECIFIC GEOTECHNICAL REPORT FOR PAVEMENT, AGGREGATE, AND SUBGRADE SECTION REQUIREMENTS.
1. MINIMUM PAVEMENT THICKNESS SHOULD BE 9\"/>

TYPICAL PAVEMENT SECTION

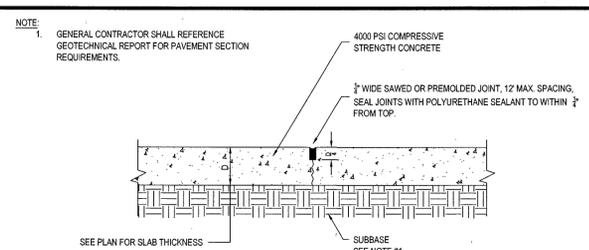
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NOTE: GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT

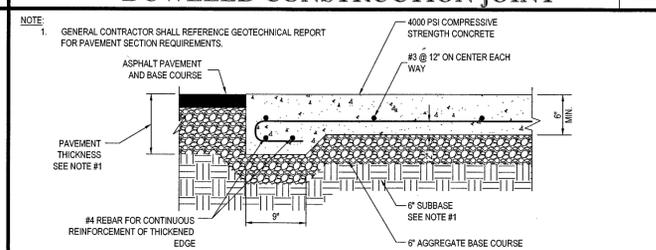
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NOTE: GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT

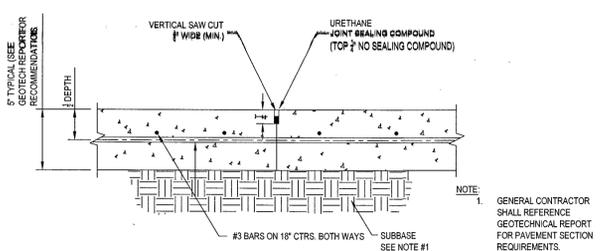
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NOTE: GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

CONCRETE APRON @ TRASH ENCLOSURE

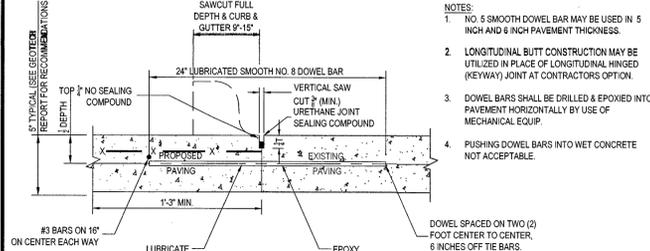
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NOTE: GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

CONTRACTION JOINT

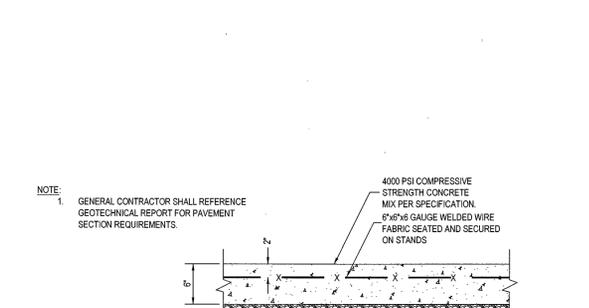
N.T.S.



- NOTES:
1. NO 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
 2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
 3. DOWEL BARS SHALL BE DRILLED & EPOXIED INTO PAVEMENT HORIZONTALLY BY USE OF MECHANICAL EQUIP.
 4. PUSHING DOWEL BARS INTO WET CONCRETE NOT ACCEPTABLE.

LONGITUDINAL BUTT JOINT

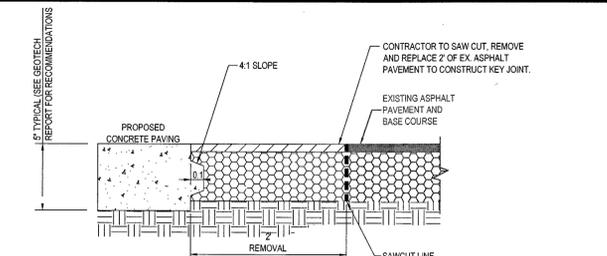
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NOTE: GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

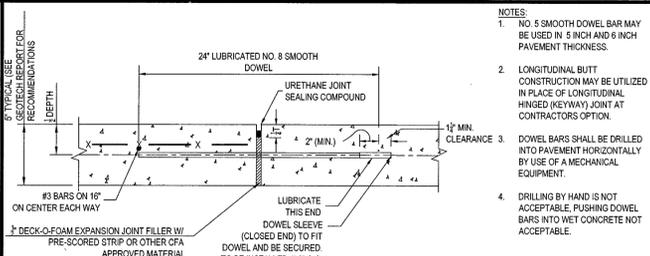
CONCRETE PAVING DRIVE-THRU LANE

N.T.S.



KEYED CONSTRUCTION JOINT

N.T.S.



- NOTES:
1. NO 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
 2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
 3. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL EQUIPMENT.
 4. DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO WET CONCRETE NOT ACCEPTABLE.

EXPANSION JOINT

N.T.S.



REVISIONS			
#	DATE	COMMENT	BY
1	1/20/16	DRAC	JNF
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392 TURNPIKE ROAD
SOUTH BOROUGHS, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9000
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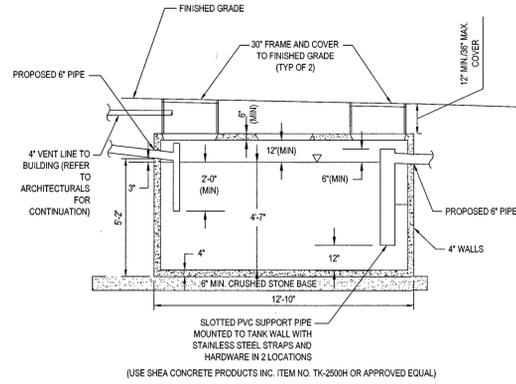
SHEET TITLE
**CHICK-FIL-A
STANDARD
DETAILS**
DWG EDITION 02.4

Preliminary
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Job No. : W151028
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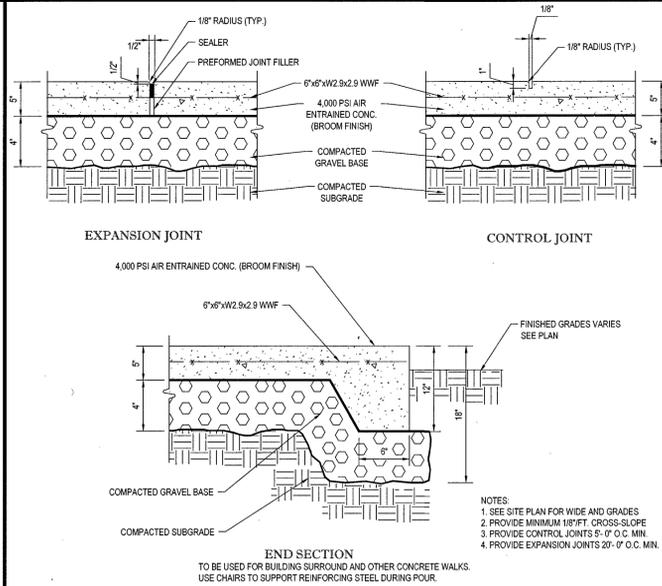
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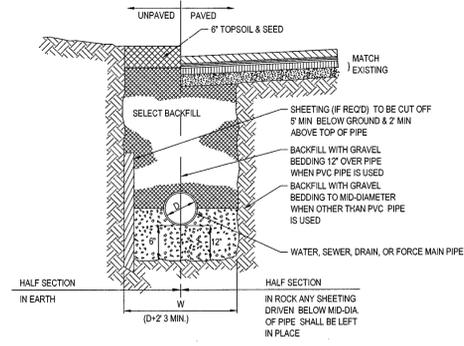
2500 GALLON GREASE TRAP DETAIL

N.T.S.



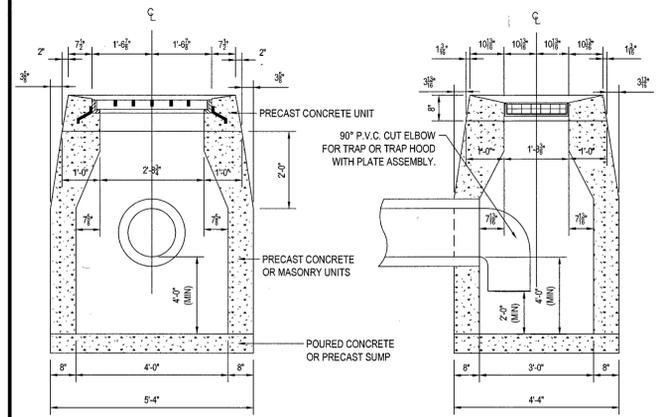
MONOLITHIC CONC. SIDEWALK DETAILS

N.T.S.



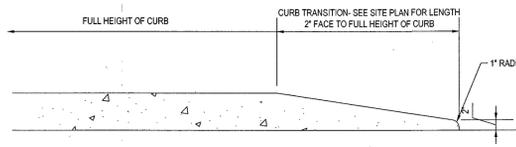
TYPICAL UTILITY TRENCH

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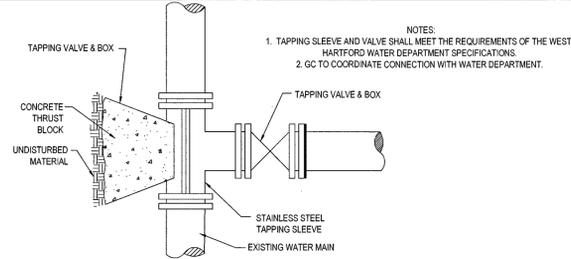
PRECAST CONCRETE DEEP SUMP TYPE "C-L" CATCH BASIN DETAIL

N.T.S.



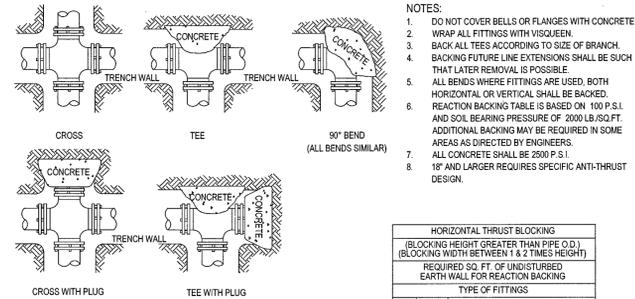
TRANSITION CURB DETAIL

N.T.S.



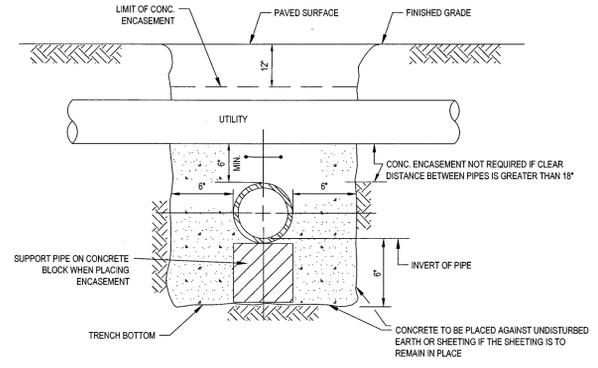
TAPPING SLEEVE & GATE VALVE DETAIL

N.T.S.



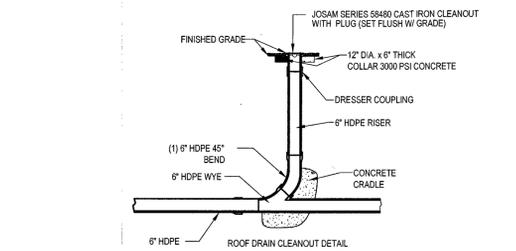
THRUST BLOCKING

N.T.S.



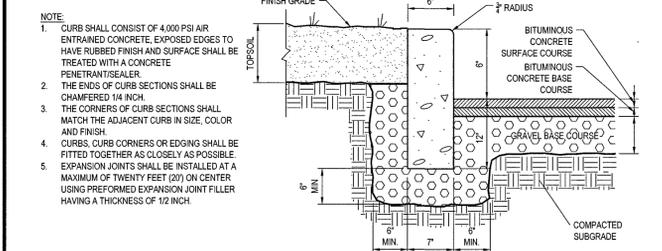
CONCRETE ENCASUREMENT DETAIL AT UTILITY CROSSING

N.T.S.



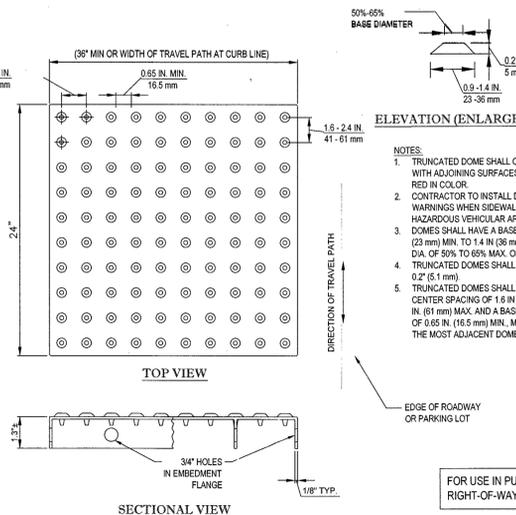
CLEANOUT DETAIL

N.T.S.



PRECAST CONCRETE CURB DETAIL

N.T.S.



CAST-IN-PLACE DETECTABLE WARNING

N.T.S.



REVISIONS

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 3511 TURNPIKE ROAD
 SOUTH BOROUGH, MA 01772
 Phone: (508) 483-6920
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SHEET TITLE
CONSTRUCTION DETAIL SHEET

DWG EDITION **02.4**

Preliminary
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Job No. : W151028
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UTILITY PLAN DESIGN NOTES & KEY PLAN

- 1 THE CONTRACTOR SHALL PROVIDE THE NECESSARY FITTINGS TO CONNECT THE NEW SERVICE LINE EXTENSION TO THE EXISTING SEWER MANHOLE. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, MATERIAL AND INVERT ELEVATION PRIOR TO INSTALLING ANY SEWER FACILITIES. MINOR ADJUSTMENTS TO THE NEW SERVICE LINE INVERT ELEVATION MAY BE NECESSARY DEPENDING UPON FIELD MEASUREMENTS.

CAUTION/WARNING

THE CONTRACTOR SHALL USE EXTREME CAUTION TO PROPERLY SHEET, SHORE, AND DEWATER EXCAVATION TO COMPLETE THE CONNECTION IN A SAFE MANNER AND WITHOUT DAMAGE OR SETTLEMENT TO EXISTING FACILITIES. ROAD OR SHOPPING CENTER DRIVE. PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES TO PREVENT TRAFFIC FROM DRIVING TOO CLOSE TO THE EXCAVATIONS AND OTHER RELATED WORK AREAS.

UTILITY PLAN DESIGN NOTES & KEY PLAN

- 2 PROPOSED 3/4" PVC PIPE SEWER LINE. COORDINATE PIPE WITH ARCHITECTURAL/BUILDING PLUMBING PLANS AND FORCE MAIN PLANS BY BETA GROUP, INC.
- 3 INSTALL CLEANOUT. USE TRAFFIC RATED CLEANOUT IN ALL PAVEMENT AREAS AS REQUIRED.
- 4 2" DOMESTIC WATER SUPPLY
- CONTRACTOR SHALL COORDINATE WITH THE WATER DISTRICT FOR INSTALLATION OF WATER SERVICE TAP, WATER METER, AND METER BOX. CONTRACTOR'S BID PRICE SHALL INCLUDE THE COST OF THE WORK PERFORMED BY THE TOWN (INCLUDING TAP FEES). TAPS SHALL BE MADE INITIALLY IN CONTRACTOR'S NAME AND TRANSFERRED AT PROJECT COMPLETION.
- DOMESTIC WATER LINE SHALL BE POLYETHYLENE, OR MATERIAL APPROVED BY SEEKONK WATER DISTRICT.
- 5 1.5" WATER METER FOR IRRIGATION WATER SUPPLY. ON-SITE IRRIGATION LINES AND MATERIALS SHALL BE INSTALLED BY THE IRRIGATION CONTRACTOR AS INDICATED ON THE IRRIGATION PLAN. IRRIGATION SHALL CONNECT TO THE DOMESTIC SERVICE INSIDE BUILDING WITH PROPER BACKFLOW DEVICE.
- 2" BACKFLOW PREVENTER FOR DOMESTIC WATER SERVICE.
- 6 THE CONTRACTOR SHALL INSTALL A BACKFLOW PREVENTER (FEBCO, WATTS, OR APPROVED EQUAL) FOR EACH WATER SERVICE LINE AS INDICATED ON THE DRAWINGS. INSTALLATION SHALL INCLUDE BOX OR VALVE, AS APPLICABLE. THE CONTRACTOR SHALL COORDINATE WITH THE WATER DISTRICT FOR INSPECTION, TESTING, AND CERTIFICATION OF ALL BACKFLOW PREVENTERS. ALL BACKFLOW DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE WATER DISTRICT STANDARDS/SPECIFICATIONS. CONTRACTOR'S BID PRICE SHALL INCLUDE ALL COSTS ASSOCIATED WITH DEVICE INSTALLATION, INSPECTION, TESTING, CERTIFICATION, ETC., TO INCLUDE ANY FEES REQUIRED BY THE WATER DISTRICT AND/OR TOWN.
- 7 1.5" BACKFLOW PREVENTER FOR IRRIGATION WATER SERVICE. (SEE NOTE #5 ABOVE).
- 8 GREASE TRAP TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE INSTALLATION WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. CONNECT RESTROOM SERVICE LINE DOWNSTREAM OF GREASE TRAP OUTLET SIDE AT INVERT ELEVATION INDICATED. COORDINATE TOP ELEVATION OF GREASE TRAP WITH DRIVEWAY PAVEMENT ELEVATION.
- 9 NOT USED
- 10 3" VENT LINE TO BE INSTALLED BY SITE UTILITY CONTRACTOR. SEE ARCHITECT PLUMBING PLANS. PROPOSED VENT LINE TO EXTEND FROM GREASE TRAP TO LANDSCAPED AREA AND BE FITTED WITH A CHARCOAL FILTER PER CHICOFEE SEWER REQ'S. GO TO COORDINATE VENT LOCATION WITH CHICK-FILA AND MEP. (NOT SHOWN).
- 11 TELEPHONE SERVICE CONNECTION LOCATION AT BUILDING. COORDINATE WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLANS.
- 12 2" DOMESTIC WATER SERVICE LINE CONNECTION LOCATION AT BUILDING. SITE UTILITY CONTRACTOR SHALL INSTALL DOMESTIC WATER SERVICE LINE FROM THE EXISTING WATER MAIN TO THE MAIN BUILDING CUTOFF VALVE. (SEE ARCHITECT PLUMBING PLAN).
- 13 4" KITCHEN WASTE LINE. INSTALL CLEANOUT APPROXIMATELY 6' FROM FACE OF BUILDING. COORDINATE WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS.
- 14 GAS SERVICE LINE AND METER INSTALLATION LOCATION. SEE ARCHITECT'S PLUMBING PLANS FOR SIZE REQUIREMENTS AND EXACT CONNECTION LOCATION. COORDINATE WITH GAS COMPANY FOR GAS SERVICE LINE INSTALLATION AND BOLLARD LOCATION.
- 15 ELECTRICAL SERVICE LINE CONNECTION AT BUILDING. CONTRACTOR SHALL INSTALL (2) 4" DIAMETER SCHEDULE 40 PVC CONDUIT WITH PULL WIRES FROM EXISTING ELECTRICAL FACILITIES WITHIN THE RIGHT-OF-WAY TO THE TRANSFORMER & ELECTRICAL PULL BOX LOCATED BEHIND THE CHICK-FILA SERVICE AREA. COORDINATE CROSSING OF CONDUIT WITH OTHER UTILITIES. CONDUIT SHALL BE BURIED A MINIMUM OF 30" BELOW FINISHED GRADE. ABRUPT BENDS SHALL NOT BE ALLOWED. USE LONG SWEEP ELBOWS AND OTHER NECESSARY FITTINGS TO PROVIDE GRADUAL CHANGES IN DIRECTION. ELECTRICAL SERVICE INSTALLATION TO BE COORDINATED WITH LOCAL ELECTRICAL COMPANY.
- 16 6" DIP (CLASS 50) WATER LINE
- 17 4" SCH 40 PVC IRRIGATION SLEEVES.
- 18 INSTALL 2" SCH 40 PVC CONDUIT WITH PULL WIRES AND PULL BOX AS NECESSARY FOR TELEPHONE SERVICE LINE INSTALLATION. USE LONG SWEEP RADIUS AT 90° AND 45° BENDS TO AVOID ABRUPT CHANGES IN DIRECTION. COORDINATE WITH TELEPHONE COMPANY.
- 19 3/4" C.W. TO DUMPSTER POST HYDRANT.
- 20 2" PVC CONDUIT FOR DIRECTIONAL SIGNS SUBJECT TO APPROVAL FROM ELECTRICAL ENGINEER.
- 21 THRUSTBLOCKS
- 22 NOT USED
- 23 NOT USED
- 24 APPROXIMATE LOCATION OF TRANSFORMER AND CONC. PAD PENDING ELECTRIC SERVICE AGREEMENT / DESIGN (GO TO COORDINATE BOLLARD PLACEMENT AND INSTALLATION WITH ELECTRIC COMPANY)
- 25 PROPOSED PRIMARY ELECTRICAL SERVICE. GO TO COORDINATE WITH ELECTRIC COMPANY AND ENCASE IN CONCRETE. (SEE NOTE 15 ABOVE)
- 26 RELOCATE EXISTING ELECTRIC SERVICE. CONTRACTOR TO COORDINATE DOWNTIME AND MINIMIZE DISRUPTION OF SERVICE.

REVISIONS

#	DATE	COMMENT	BY
1	1/20/16	DRAC	JNF
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 HARTFORD, CT 06111
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352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
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SHEET TITLE

PLUMBING SITE PLAN

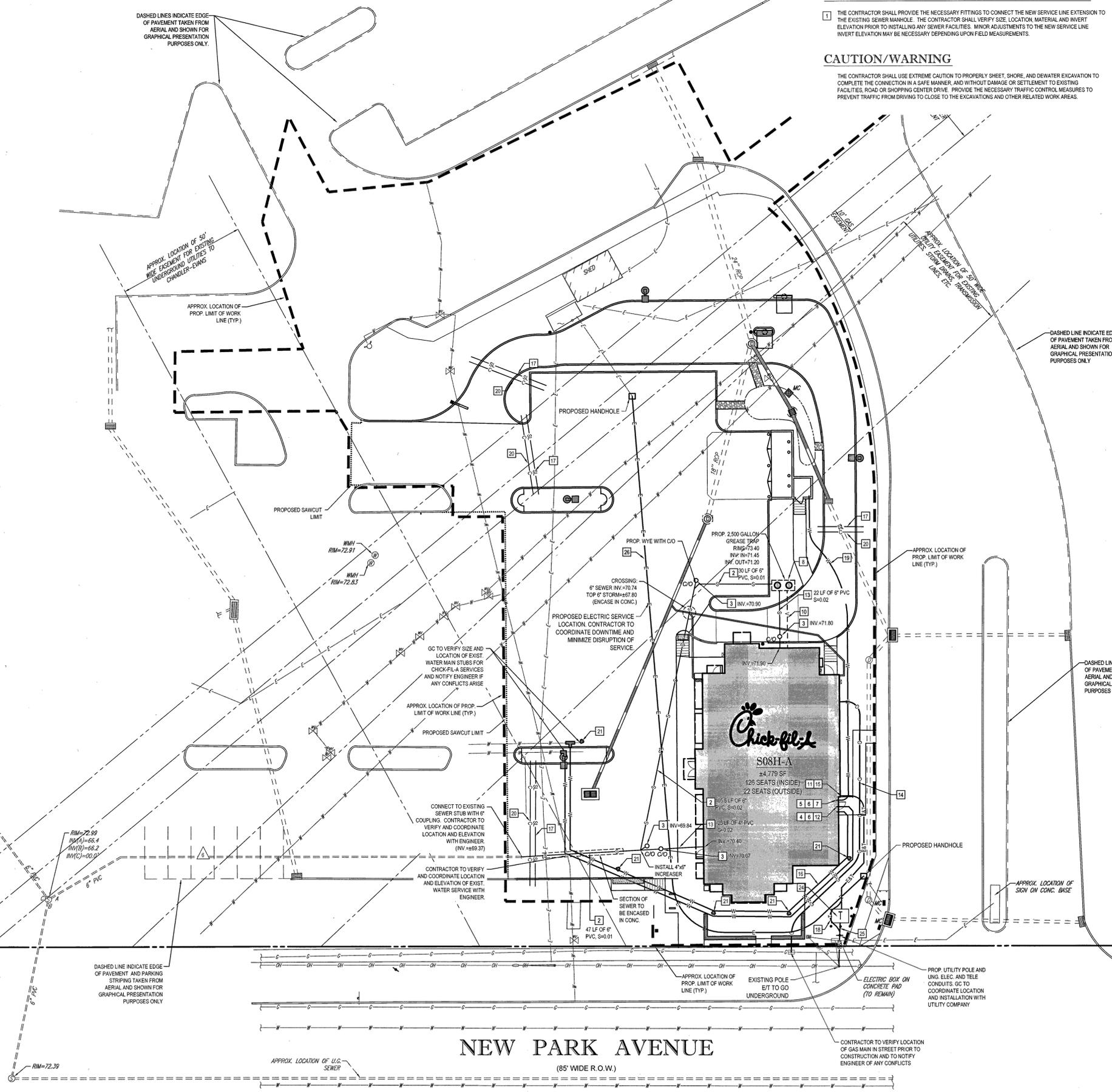
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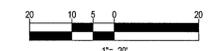
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NEW PARK AVENUE
 (85' WIDE R.O.W.)

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY

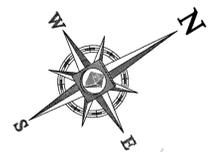
REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



811

Know what's below.
 Call before you dig.

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CITY OF WEST HARTFORD LANDSCAPE REQUIREMENTS

SECTION OF BY-LAW	DESCRIPTION	REQUIRED	PROPOSED
177-32 PARKING	E(4). ANY AREA OF 100 SF OR MORE WHICH IS NOT REQUIRED FOR PARKING SHALL BE LANDSCAPED. IN EVERY PARKING AREA, AT LEAST 1 TREE/10 SPACES SHALL BE PROVIDED. THE TREES SHALL BE DISTRIBUTED OVER THE ENTIRE PARKING LOT. 110 SPACES / 10 = 11 TREES	11 TREES	11 TREES
	E(5). IF A PARKING LOT ADJACENT TO A SIDEWALK, A STRIP OF LANDSCAPING AT LEAST 4' WIDE SHALL BE PROVIDED TO PREVENT ENCROACHMENT ON SAID SIDEWALK.	YES	YES
	B. DECIDUOUS SHADE TREES, SUCH AS SUGAR MAPLE, RED OAK, OR LONDON PLANE, AND CONIFERS, SUCH AS WHITE PINE, AUSTRIAN PINE OR CANADIAN HEMLOCK. 75% OF THE REQUIRED LARGE TREES SHALL BE AT LEAST 2 1/2" CAL. AT TIME OF PLANTING AND, 25% SHALL BE AT LEAST 4-4 1/2" CAL. AT TIME OF PLANTING. 6 PROPOSED TREES = 4 @ 2 1/2" CAL. AND 2 @ 4 1/2" CAL.	4 TREES @ 2 1/2" CAL. 2 TREES @ 4 1/2" CAL.	4 TREES @ 2 1/2" CAL. 2 TREES @ 4 1/2" CAL.
177-34 SCREENING AND LANDSCAPING	C(1). TO THE EXTENT THAT EXISTING HEALTHY TREES, IF PROPERLY LOCATED, ARE PRESERVED, THEY SHALL BE FULLY CREDITED AGAINST THE REQUIREMENTS OF THIS CHAPTER.	7 EXISTING TREES TO REMAIN	7 EXISTING TREES TO REMAIN



LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE(S)					
GTIK	3	GLEDITSIA TRIACANTHOS 'INERMIS' 'SKYCOLE'	SKYLINE THORNLESS HONEYLOCUST	2 1/2-3" CAL.	B+B
QR	1	QUERCUS RUBRA	RED OAK	2 1/2-3" CAL.	B+B
ZS	2	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	4-4 1/2" CAL.	B+B
SUBTOTAL: 6					
DECIDUOUS SHRUB(S)					
IV	24	ITEA VIRGINICA 'HENRY'S GARNET'	GARNET SWEETSPIRE	24-30"	#5 CAN
PFGD	17	POTENTILLA FRUTICOSA 'GOLD DROP'	GOLD DROP CINQUEFOIL	15-18"	#3 CAN
VD	7	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3-4"	B+B
SUBTOTAL: 48					
EVERGREEN SHRUB(S)					
ICS	20	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	30-36"	#3 CAN
IGS	37	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKERRY HOLLY	24-30"	#5 CAN
IMBB	2	ILEX X MESERVEAE 'BLUE BOY'	BLUE BOY HOLLY	24-30"	#5 CAN
IMBG	8	ILEX X MESERVEAE 'BLUE GIRL'	BLUE GIRL HOLLY	24-30"	#5 CAN
JHY	44	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	ANDORRA JUNIPER	18-24" SPRD.	#3 CAN
RCNZ	3	RHODODENDRON CATAWBIENSE 'NOVA ZEMBLA'	NOVA ZEMBLA RHODODENDRON	30-36"	B+B
ROHC	11	RHODODENDRON X OBTUSUM 'HINO CRIMSON'	HINO CRIMSON AZALEA	18-24"	#3 CAN
RPJM	3	RHODODENDRON CAROLINIANA X PJM	PJM RHODODENDRON	24-30"	B+B
SUBTOTAL: 128					
GROUND COVER(S)					
VM	79	VINCA MINOR	PERIWINKLE/MYRTLE	2 1/4" PEAT POTS	2 YR. PLANT
SUBTOTAL: 79					
PERENNIAL(S)					
HHSS	15	HELIOPSIS HELIANTHOIDES 'SUMMER SUN'	SUMMER SUN FALSE SUNFLOWER	2 GAL.	CONTAINER
SSAJ	21	SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY SEDUM	2 GAL.	CONTAINER
SUBTOTAL: 36					
ORNAMENTAL GRASSES(S)					
PA	19	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	2 GAL.	CONTAINER
SUBTOTAL: 19					

REVISIONS

#	DATE	COMMENT	BY
1	1/20/16	DRAC	JNF
2			
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Fax: (508) 485-9900
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TOWN OF W. HARTFORD
HARTFORD COUNTY, CT
MAP #H13, BLOCK #3776,
LOT #511

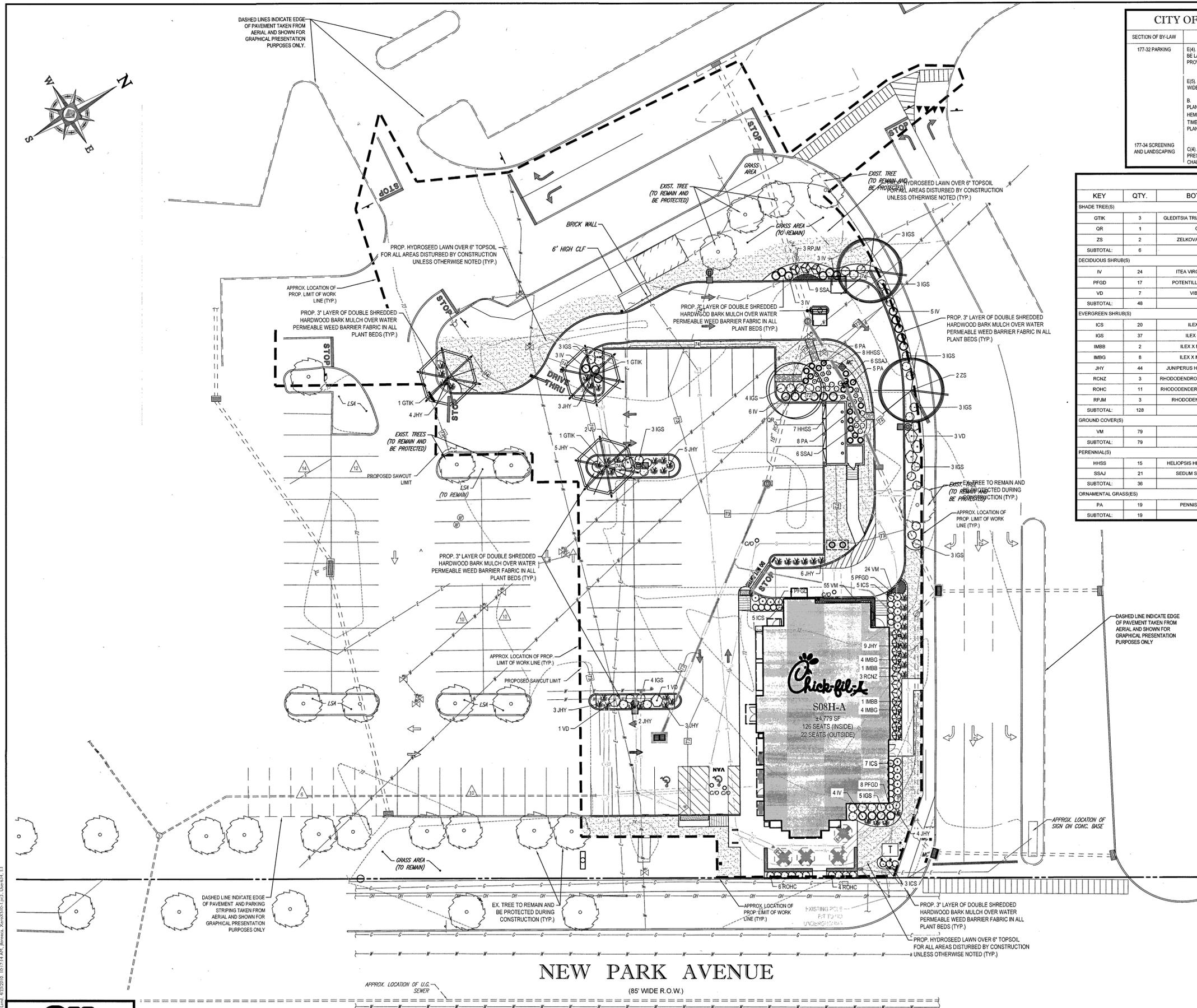
SHEET TITLE
LANDSCAPE PLAN

DWG EDITION 02.4

Preliminary
 80% Submittal
 For Construction

Job No. : W151028
Store : 03673
Date : 02/12/16
Drawn By : CFD/JNF
Checked By : ADJ/GJS

Sheet
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THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS

OWNER MAINTENANCE RESPONSIBILITIES

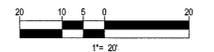
UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREES, BUSHES, SHRUBS, GRASSES, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMITED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITH VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVELED SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

811

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LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:
 THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOILING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS
A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLOS.
C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 1/2" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SOODED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON LANDSCAPE PLAN.
 I. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
 II. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE-FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 1/2" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR DETAILS.
E. FERTILIZER
 I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER.
 FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
 II. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
F. PLANT MATERIAL
 I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
 III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
 IV. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLEDUS, SHALL BE REJECTED.
 V. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
 VI. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH; WELL DEVELOPED BRANCHES; DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
 VII. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
 VIII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
 IX. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES
 A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
 B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
4. SITE PREPARATIONS
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
5. TREE PROTECTION
 A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
B. A FOURTY EIGHT (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VISH-FENCE," OR APPROVED EQUIVALENT, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITH THE TREE PROTECTION DETAIL.
C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE REMOVAL OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
6. SOIL MODIFICATIONS
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE QUANTITY OF TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
 I. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
 II. TO INCREASE DRAINAGE, MOODY HEAVY CLAY OR SILTY (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL CRYSTAL CRYSTAL.
 COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
 III. MOODY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
7. FINISHED GRADING
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1/2").
C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
8. TOPSOILING
A. CONTRACTOR SHALL PROVIDE A 1/2" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE TO A UNIFORM DEPTH TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
B. ON SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NECESSARY TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
D. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUARTERS BASED ON A 1,000 SQUARE FOOT AREA) FOR BID PURPOSES ONLY (SEE SPECIFICATION 6.A.3).
 I. 20 POUNDS "GRO-POWER" OR APPROVED SOIL CONDITIONER/FERTILIZER
 II. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER
E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.
9. PLANTING
A. INSURE THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

I. PLANTS: MARCH 15 TO DECEMBER 15
 II. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WATER DAMAGE, WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
 ACER RUBRUM PLATANUS X ACERIFOLIA
 BETULA VARIETIES POPULUS VARIETIES
 CARPINUS VARIETIES PRUNUS VARIETIES
 CRATAEGUS VARIETIES PYRUS VARIETIES
 KOELREUTERIA QUERCUS VARIETIES
 LIQUIDAMBAR STRYRACFLUA TILIA TOMENTOSA
 LIRODIODENDRON TULIPIFERA ZELKOVA VARIETIES

H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
 I. 1 PART PEAT MOSS
 II. 1 PART COMPOSTED COW MANURE BY VOLUME
 III. 3 PARTS TOPSOIL BY VOLUME
 IV. 21 GRAMS AGRI-FORM PLANTING TABLETS (OR APPROVED EQUIVALENT) AS FOLLOWS:
 A) 2 TABLETS PER 1 GALLON PLANT
 B) 3 TABLETS PER 5 GALLON PLANT
 C) 4 TABLETS PER 15 GALLON PLANT
 D) LARGER PLANTS: 2 TABLETS PER 1/4" CALIPER OF TRUNK

I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.

J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.

K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.

L. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.

N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPLANTING (WHEN REQUIRED)
A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

11. WATERING
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

12. GUARANTEE
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
D. LAWN SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF BROOD OR BARE AREAS.

13. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

14. MAINTENANCE (ALTERNATIVE BID)
A. 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MAINTAINED TO THE APPROVAL OF THE OWNER/OPERATOR.

NOTES:
 1) NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 2) REMOVE ALL NON-BIODEGRADABLE MATERIAL AND ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3" FROM ROOT BALL.
 3) PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
 4) THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 5) THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERRED TO TILL THE FIRST 1/2" TO 3/4" OF PLANTING SOIL INTO THE SUBSOIL.
 6) REFER TO THE CHART "GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL CONDITIONS" TO DETERMINE MINIMUM WIDTH OF PREPARED SOIL (X).
 7) SUBSTITUTE ARBORITE STAKING SYSTEM WHEN SPECIFIED.

REINFORCED RUBBER HOSE (1/2" DIA. BLACK)
FOLD BURLAP AWAY FROM TOP OF ROOT BALL
12 GAUGE GALVANIZED WIRE GUYSTIED
2" DIA. HARDWOOD STAKES 2/3 TREE HT. 3 PER TREE
TWICE THE WIDTH OF ROOTBALL FOR PREPARED SOIL FOR TREES
PREPARED SOIL FOR TREES
 1 PART PEAT MOSS
 1 PART COW MANURE
 3 PARTS TOPSOIL (RECOMMENDATION ONLY. SEE SOIL MOD. CHART)
UNDISTURBED SUBGRADE
DIG WIDE, SHALLOW HOLE WITH TAMPED SIDES
TAMP SOIL SOLIDLY AROUND BASE OF ROOT BALL
LANDSCAPE FABRIC AS SPECIFIED.
4" BUILT-UP EARTH SAUCER
3" DOUBLE SHREDDED HARDWOOD BARK MULCH (DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK)
1 PART PEAT MOSS
1 PART COW MANURE
3 PARTS TOPSOIL
AVOID PURCHASING TREES WITH TWO LEADERS OR REMOVE ONE AT PLANTING. OTHERWISE, DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS.
SET ROOT BALL FLUSH TO GRADE OR SEVERAL INCHES HIGHER IN POORLY DRAINING SOILS.
SET ROOT BALL FLUSH TO GRADE OR SEVERAL INCHES HIGHER IN POORLY DRAINING SOILS.
4" BUILT-UP EARTH SAUCER
SET ROOT BALL ON FIRM PAD IN BOTTOM OF HOLE
TOP SOIL FILL (COMPACTED) (SLOPE NOT TO EXCEED 2:1)
EXISTING GRADE
EXISTING GRADE
4" DEEPER THAN ROOT BALL
REFER TO TREE PLANTING DETAIL FOR GENERAL PLANTING SPECIFICATIONS

SHRUB PLANTING DETAIL N.T.S.
 PLANT SHALL BE PLANTED SO THAT THE POINT AT WHICH THE ROOT FLARE BEGINS IS SET LEVEL WITH GRADE. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF ROOT BALL AS SHOWN.
 PLANTING MIX:
 1 PART PEAT MOSS
 1 PART COW MANURE
 3 PARTS TOPSOIL (SEE SOIL MODIFICATION CHART)
 FINISHED GRADE
 LANDSCAPE FABRIC AS SPECIFIED
 PLACE SHRUB ON FIRM SOIL IN BOTTOM OF HOLE.
 UNDISTURBED SUBGRADE
 WHEN APPROPRIATE, PLANT MULTIPLE SHRUBS IN CONTINUOUS PLANTING HOLE.
 BEFORE PLANTING, ADD 3" TO 4" OF WELL-COMPOSTED LEAVES AND RECYCLED YARD WASTE TO BED AND TILL INTO TOP 6" OF PREPARED SOIL.
 SOIL SURFACE ROUGHENED TO BIND WITH NEW SOIL.
 24" MINIMUM
 8" TO 12"

GROUND COVER PLANTING N.T.S.
 INCORPORATE 2" OF PEAT INTO 4" OF PLANTING MIXTURE, AS SPECIFIED.
 1" DOUBLE SHREDDED HARDWOOD BARK MULCH (AS SPECIFIED)
 FINISHED GRADE
 TOPSOIL
 UNDISTURBED SUBGRADE
 PREPARED TOPSOIL

BLACK ALUMINUM EDGING N.T.S.
 18" STAKE INTO UNDISTURBED GROUND EVERY 30" O.C. LAP JOINTS AS PER MANUFACTURER'S RECOMMENDATION.
 3/16" x 4" BLACK ALUMINUM EDGING
 LAWN OR GRAVEL AREA
 FINISH GRADE
 UNDISTURBED SUBGRADE
 MULCH AS SPECIFIED

TREE PLANTING ON SLOPE DETAIL N.T.S.
CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING PROPOSED GRADE FOR PLANTING AREA NOT TO EXCEED 2:1
UNDISTURBED SUBGRADE
DIG WIDE, SHALLOW HOLE WITH TAMPED SIDES
TAMP SOIL SOLIDLY AROUND BASE OF ROOT BALL
EXISTING GRADE
EXISTING GRADE
4" DEEPER THAN ROOT BALL
REFER TO TREE PLANTING DETAIL FOR GENERAL PLANTING SPECIFICATIONS

SHRUB PLANTING DETAIL N.T.S.
 PLANT SHALL BE PLANTED SO THAT THE POINT AT WHICH THE ROOT FLARE BEGINS IS SET LEVEL WITH GRADE. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF ROOT BALL AS SHOWN.
 PLANTING MIX:
 1 PART PEAT MOSS
 1 PART COW MANURE
 3 PARTS TOPSOIL (SEE SOIL MODIFICATION CHART)
 FINISHED GRADE
 LANDSCAPE FABRIC AS SPECIFIED
 PLACE SHRUB ON FIRM SOIL IN BOTTOM OF HOLE.
 UNDISTURBED SUBGRADE
 WHEN APPROPRIATE, PLANT MULTIPLE SHRUBS IN CONTINUOUS PLANTING HOLE.
 BEFORE PLANTING, ADD 3" TO 4" OF WELL-COMPOSTED LEAVES AND RECYCLED YARD WASTE TO BED AND TILL INTO TOP 6" OF PREPARED SOIL.
 SOIL SURFACE ROUGHENED TO BIND WITH NEW SOIL.
 24" MINIMUM
 8" TO 12"

BIOBARRIER ROOT BARRIER DETAIL N.T.S.
CONC. SIDEWALK
17" MAX.
BIOBARRIER ROOT BARRIER FABRIC OR APPROVED EQUAL
BIOBARRIER ROOT BARRIER FABRIC TO BE INSTALLED TO THE DEPTH OF THE BOTTOM OF STONE BASE COURSE OR 10", WHICHEVER IS GREATER
UNDISTURBED SUBGRADE
PREPARED SOIL FOR TREES (SEE PLANTING DETAIL)
SEE DECIDUOUS OR EVERGREEN TREE DETAIL FOR PLANTING PURPOSES
UNDISTURBED SUBGRADE
PREPARED SOIL FOR TREES (SEE PLANTING DETAIL)
BIOBARRIER ROOT BARRIER FABRIC TO BE INSTALLED TO THE DEPTH OF THE BOTTOM OF STONE BASE COURSE OR 10", WHICHEVER IS GREATER

STANDARD FOR PERMANENT STABILIZATION WITH SOD

HYDROSEED SPECIFICATIONS

NEW ENGLAND WETMIX SEED MIX



REVISIONS			
#	DATE	COMMENT	BY
1	1/20/16	DRAC	JNF
2			
3			
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BOHLER ENGINEERING
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-8900
 Fax: (508) 480-9000
 www.BohlerEngineering.com

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STORE #03673
S08H-A
511 NEW PARK AVENUE
TOWN OF W. HARTFORD
HARTFORD COUNTY, CT
MAP #H13, BLOCK #3776,
LOT #511

SHEET TITLE
LANDSCAPE NOTES & DETAILS SHEET
DWG EDITION 02.4

Preliminary
 80% Submittal
 For Construction

Job No. : W151028
 Store : 03673
 Date : 02/12/16
 Drawn By : CFD/JNF
 Checked By : ADJ/GS
 Sheet