

VICINITY MAP  
Town of West Hartford, CT  
Scale: 1"=1000'

# CHANGE OF ZONE FROM R-13 TO RO WITH AN SDD OVERLAY

AT

312 NORTH MAIN STREET  
WEST HARTFORD, CONNECTICUT  
SUBMITTED TO THE TOWN COUNCIL ON 05 / 13 / 16

PREPARED FOR:

COMPANIONS FOR LIVING, LLC  
C/O JULIANNE ROTH  
1216 FARMINGTON AVE., SUITE 202  
WEST HARTFORD, CT 06107

ZP GROUP, LLC  
C/O GREGORY PATCHEN  
998 FARMINGTON AVE., SUITE 214  
WEST HARTFORD, CT 06107

## DRAWING LIST

SITE DEVELOPMENT PLAN SET  
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2-6 SURVEY PLAN  
3-6 LAYOUT PLAN  
4-6 GRADING AND UTILITIES PLAN  
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6-6 DETAILS  
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ARCHITECTURAL PLAN SET  
A-1 ARCHITECTURAL PLAN  
A-2 ARCHITECTURAL PLAN  
A-3 ARCHITECTURAL PLAN  
A-4 ARCHITECTURAL PLAN

Date: MAY 13, 2016	Scale: 1" = 10'	Checked: O.T.	Date:
Drawn: D.T.	Revision		

**TE**  
TORRES ENGINEERING, INC.  
63 REED DRIVE  
WETHERSFIELD, CT 06109  
(860) 232-9833



### APPLICANTS

COMPANIONS FOR LIVING, LLC  
C/O JULIANNE ROTH  
1216 FARMINGTON AVE., SUITE 202  
WEST HARTFORD, CT 06107

ZP GROUP, LLC  
C/O GREGORY PATCHEN  
998 FARMINGTON AVE., SUITE 214  
WEST HARTFORD, CT 06107

### ATTORNEY

ALTER & PEARSON, LLC  
C/O ROBIN MESSIER PEARSON, ESQ.  
701 HEBRON AVENUE  
P.O. BOX 1530  
GLASTONBURY, CT 06033

### ENGINEER OF RECORD

OZZIE TORRES, PE  
TORRES ENGINEERING, INC.  
63 REED DRIVE  
WETHERSFIELD, CT 06109

### ARCHITECT OF RECORD

MARK COLBATH  
KEMPER ASSOCIATES ARCHITECTS  
790 FARMINGTON AVENUE, BUILDING #2  
FARMINGTON, CT 06032

### SURVEYOR OF RECORD

PETER PARIZO  
LANDSCAPING & ENGINEERING  
536 SOUTH MAIN STREET  
WEST HARTFORD, CT 06110

### LANDSCAPE ARCHITECT

DIAN BARNES RLA, ASLA  
LANDSCAPE ARCHITECT  
FARMINGTON, CT

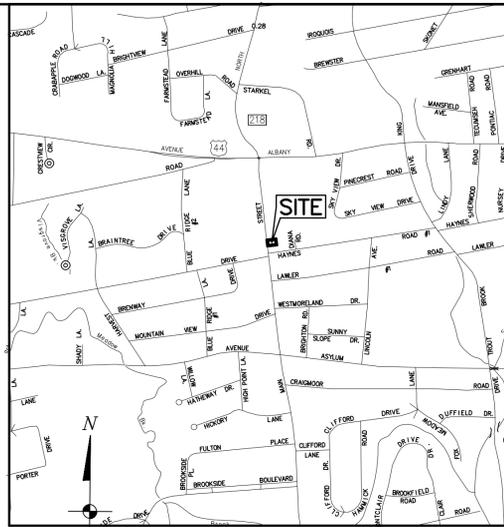
312 NORTH MAIN STREET  
WEST HARTFORD, CT 06107

TITLE SHEET

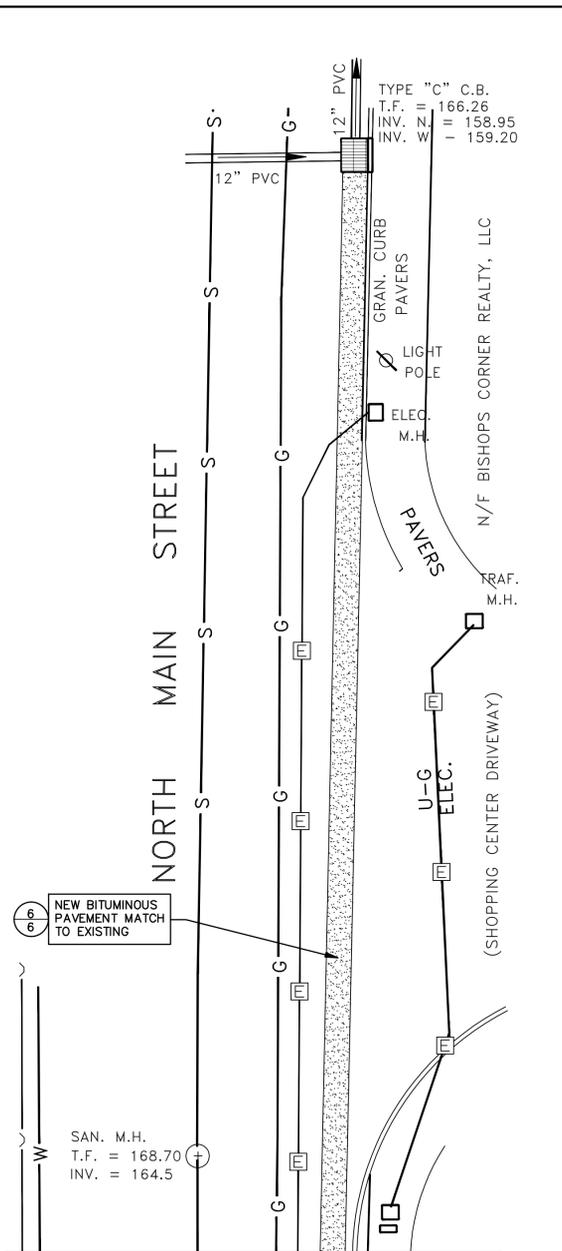
SHEET NO.

1-6

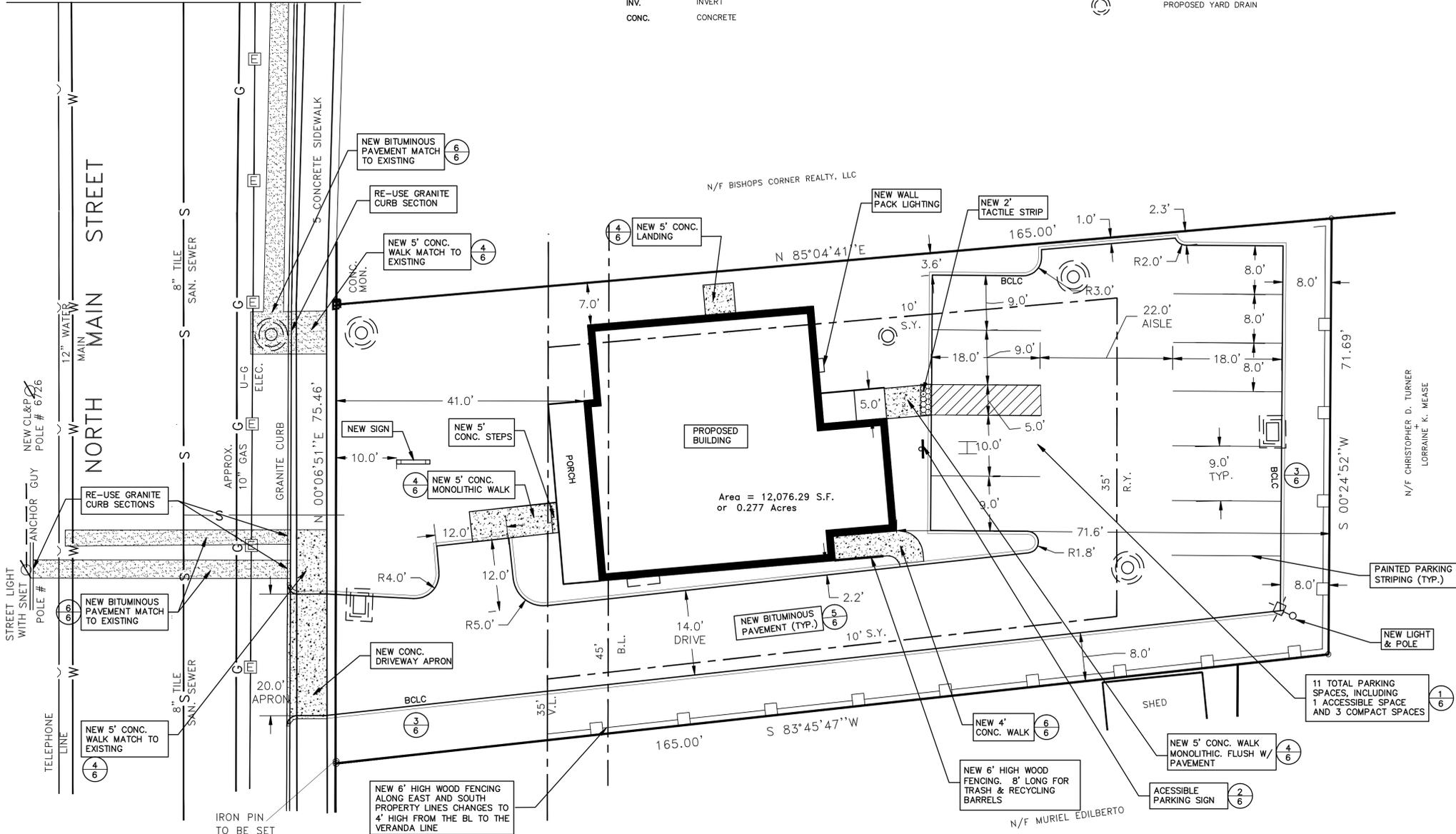




VICINITY MAP  
Town of West Hartford, CT  
Scale: 1" = 1000'



MATCH LINE



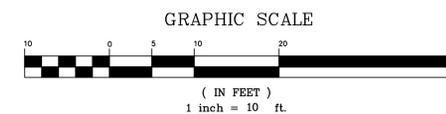
RO ZONING SCHEDULE

#312 NORTH MAIN STREET	REQUIRED	PROPOSED
MIN. LOT AREA PER DWELLING UNIT	1,000 S.F.	N/A
MAXIMUM FLOOR AREA RATIO	1.25	N/A
MAX. LOT COVERAGE - ALL BUILDINGS	40%	17.6%
MIN. FRONT YARD	45 FT.	45 FT.
MIN. SIDE YARD - BUILDING	1/2 HEIGHT	7'
OPEN SPACE PER DWELLING UNIT	200 S.F.	N/A
MAX. # DWELLING UNITS PER STRUCTURE	40	N/A
MAX. BLDG. HEIGHT - STORIES/ FEET	3 STORIES, 40'	2 1/2 STORIES 42'
MAX. HORIZ. DIMENSION PER BUILDING	250 FT.	

\*SDD EXCEPTION

NOTE:  
BOUNDARY AND TOPOGRAPHIC DATA TAKEN FROM SURVEY MAP ENTITLED "PROPERTY SURVEY, 312 NORTH MAIN STREET, WEST HARTFORD, CT 06119. SCALE 1"=10'. JAN. 22, 2016". PREPARED FOR J. MATTHEW GROUP, LLC, WEST HARTFORD, CT 06119. PREPARED BY PETER PARIZO, LS

INDICATED UNDERGROUND UTILITIES ARE BASED ON AVAILABLE DATA. THE LOCATIONS ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE ALL UTILITIES MARKED ON THE GROUND. THIS DRAWING HAS BEEN PREPARED BASED, IN PART, ON INFORMATION PROVIDED BY OTHERS RELATING TO THE LOCATION OF UNDERGROUND SERVICES. WE CANNOT VERIFY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.



LEGEND

—	PROPERTY LINE	EXIST. (TYP.)	EXISTING TYPICAL	—	PROPOSED CURB
174	EXISTING CONTOUR	S.C.	SLOPE CURB FLUSH TO PAVEMENT	—	PROPOSED UNDERGROUND ELECTRIC, INFORMATION TECH., COMMUNICATIONS
174.2 X	EXISTING SPOT GRADE	O.C.	ON CENTER	—	PROPOSED WATER
E	EXISTING ELEC., IT, COMMUNICATIONS	---	SILT FENCE	---	PROPOSED GAS
W	EXISTING WATER	---	CUT AND MATCH PAVEMENT	---	PROPOSED SANITARY
S	EXISTING SAN	---	HAY BALES OR SILT FENCE AROUND CB'S AND YD'S	---	PROPOSED STORM PIPE
G	EXISTING GAS	---	EROSION CONTROL SEQUENCE	---	PROPOSED CATCH BASIN
B.C.L.C.	BITUMINOUS CONCRETE LIP CURBING	---		---	PROPOSED MAN HOLE
TF	TOP OF FRAME	---		---	PROPOSED YARD DRAIN
INV.	INVERT				
CONC.	CONCRETE				



Date: MAY 13, 2016  
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Date: \_\_\_\_\_

**TE**  
TORRES ENGINEERING, INC.  
63 REED DRIVE  
WETHERSFIELD, CT 06109  
(860) 232-9833

312 NORTH MAIN STREET  
WEST HARTFORD, CT 06117

LAYOUT PLAN

**SEQUENCE OF SITE DEVELOPMENT AND INSTALLATION OF EROSION CONTROL MEASURES:**

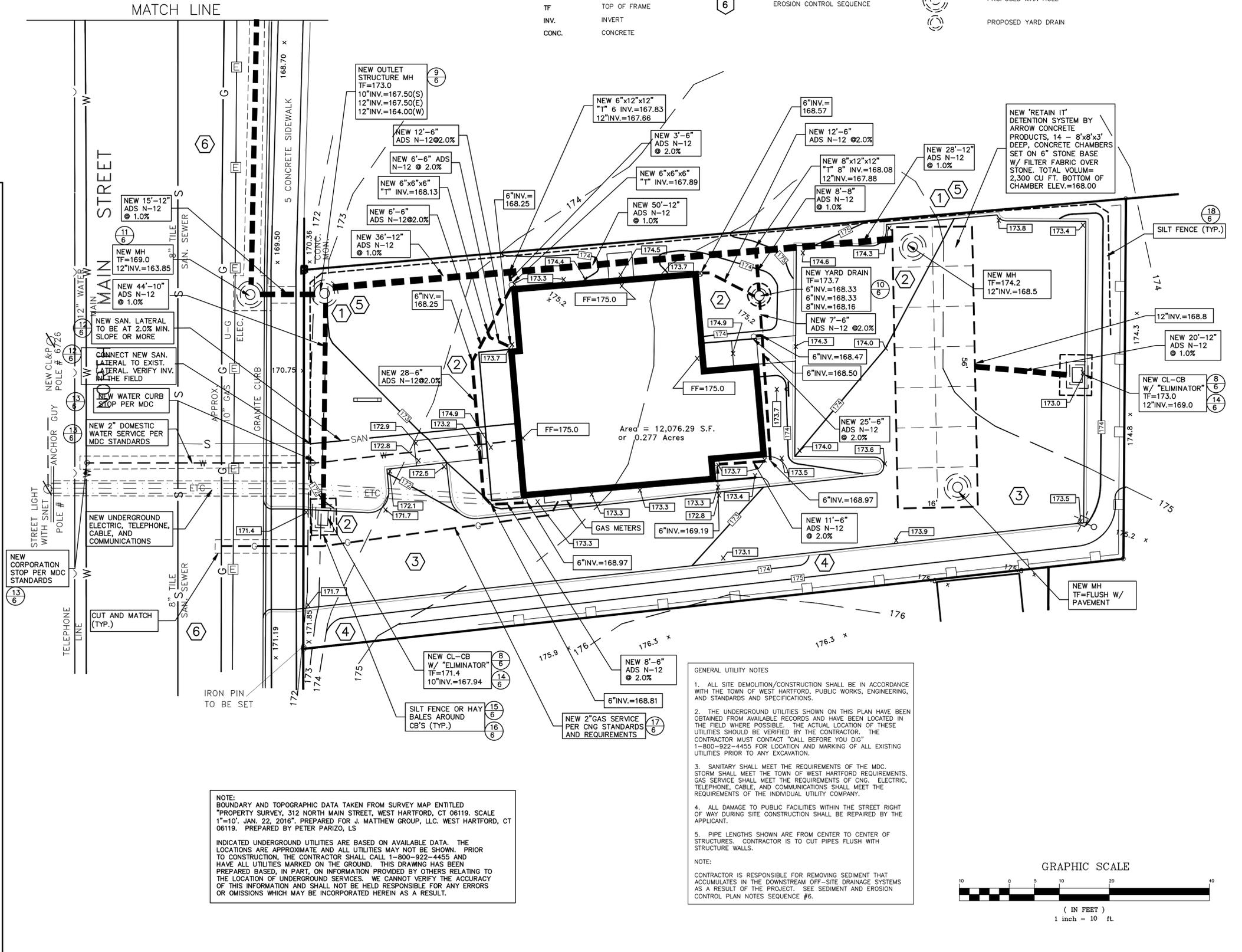
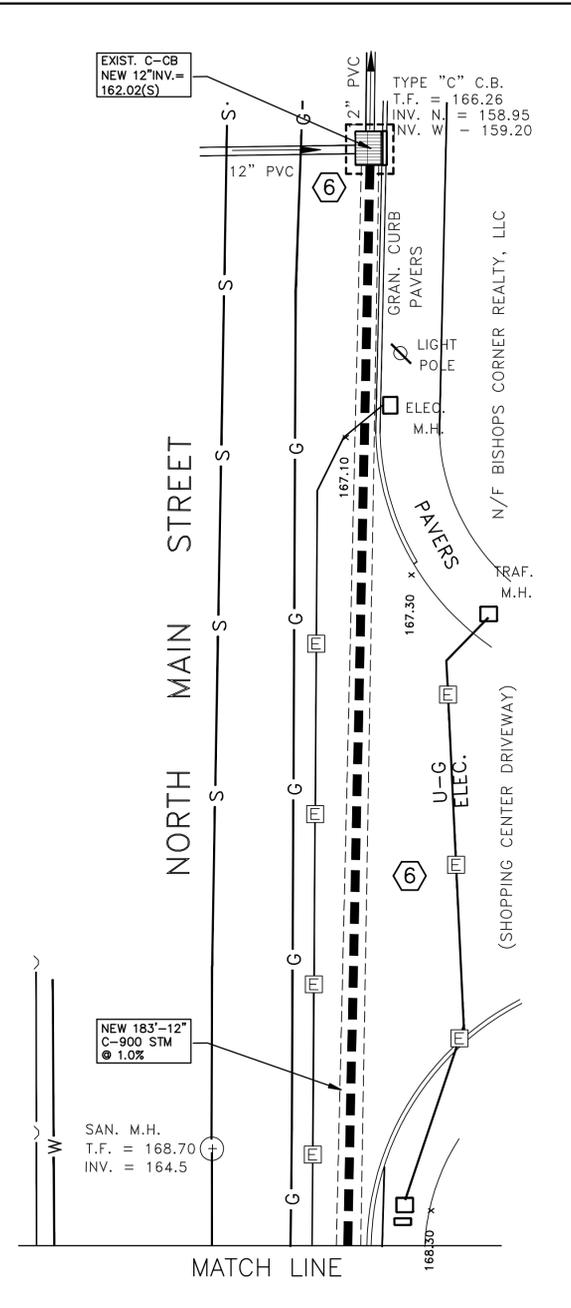
- 1 ALL AREAS OF PROPOSED CONSTRUCTION ACTIVITIES AND REQUIRED SEDIMENTATION CONTROL MEASURES SHALL BE DETERMINED IN THE FIELD AND REVIEWED FOR COMPLETENESS. ALL LOWER PERIMETER SILTATION FENCES SHALL BE INSTALLED, AS FIELD CONDITIONS REQUIRE.
- 2 PROPOSED UTILITIES INSTALLATION TO BEGIN. ADDITIONAL CONTROLS TO BE ADDED AS FIELD CONDITIONS REQUIRE. EXPOSED SOILS TO BE FINAL GRADED, LOAMED AND SEED, AS SOON AS PRACTICAL, TO PREVENT UNNECESSARY EROSION OF EMBANKMENTS.
- 3 PROPOSED PAVEMENT INSTALLATION TO BEGIN. ADDITIONAL CONTROLS MAY BE ADDED AS FIELD CONDITIONS REQUIRE.
- 4 FINAL GRADING OF SLOPES TO BE COMPLETED.
- 5 SEDIMENTATION CONTROL MEASURES TO BE REMOVED AFTER VEGETATION IS FULLY ESTABLISHED ON SLOPES AND OTHER POTENTIAL AREAS OF EROSION HAVE BEEN CONTROLLED.
- 6 ROADWAYS, SIDEWALKS AND ABUTTING AREAS TO BE CLEARED OF SILT AND DIRT DUE TO CONSTRUCTION. CATCH BASINS AND STORM DRAINS TO BE CLEANED OF ANY ACCUMULATED SILT. DOWNSTREAM CULVERTS AND/OR WATERCOURSES TO BE INSPECTED, AND CLEANED, OF ANY DEPOSITED SILT DUE TO CONSTRUCTION.

**LEGEND**

---	PROPERTY LINE	---	EXIST. TYPICAL	---	PROPOSED CURB
174	EXISTING CONTOUR	---	SLOPE CURB FLUSH TO PAVEMENT	---	PROPOSED UNDERGROUND ELECTRIC, INFORMATION TECH., COMMUNICATIONS
174.2 X	EXISTING SPOT GRADE	---	ON CENTER	---	PROPOSED WATER
E	EXISTING ELEC., IT, COMMUNICATIONS	---	SILT FENCE	---	PROPOSED GAS
W	EXISTING WATER	---	CUT AND MATCH PAVEMENT	---	PROPOSED SANITARY
S	EXISTING SAN	---	HAY BALES OR SILT FENCE AROUND CB'S AND YD'S	---	PROPOSED STORM PIPE
G	EXISTING GAS	---	EROSION CONTROL SEQUENCE	---	PROPOSED CATCH BASIN
B.C.L.C.	BITUMINOUS CONCRETE LIP CURBING	---		---	PROPOSED MAN HOLE
TF	TOP OF FRAME	---		---	PROPOSED YARD DRAIN
INV.	INVERT	---		---	
CONC.	CONCRETE	---		---	



Date: MAY 13, 2016	Scale: 1" = 10'
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Revision:	Date:



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**TE**  
TORRES ENGINEERING, INC.  
63 REED DRIVE  
WETHERSFIELD, CT 06109  
(860) 232-9833

**312 NORTH MAIN STREET**  
WEST HARTFORD, CT 06117

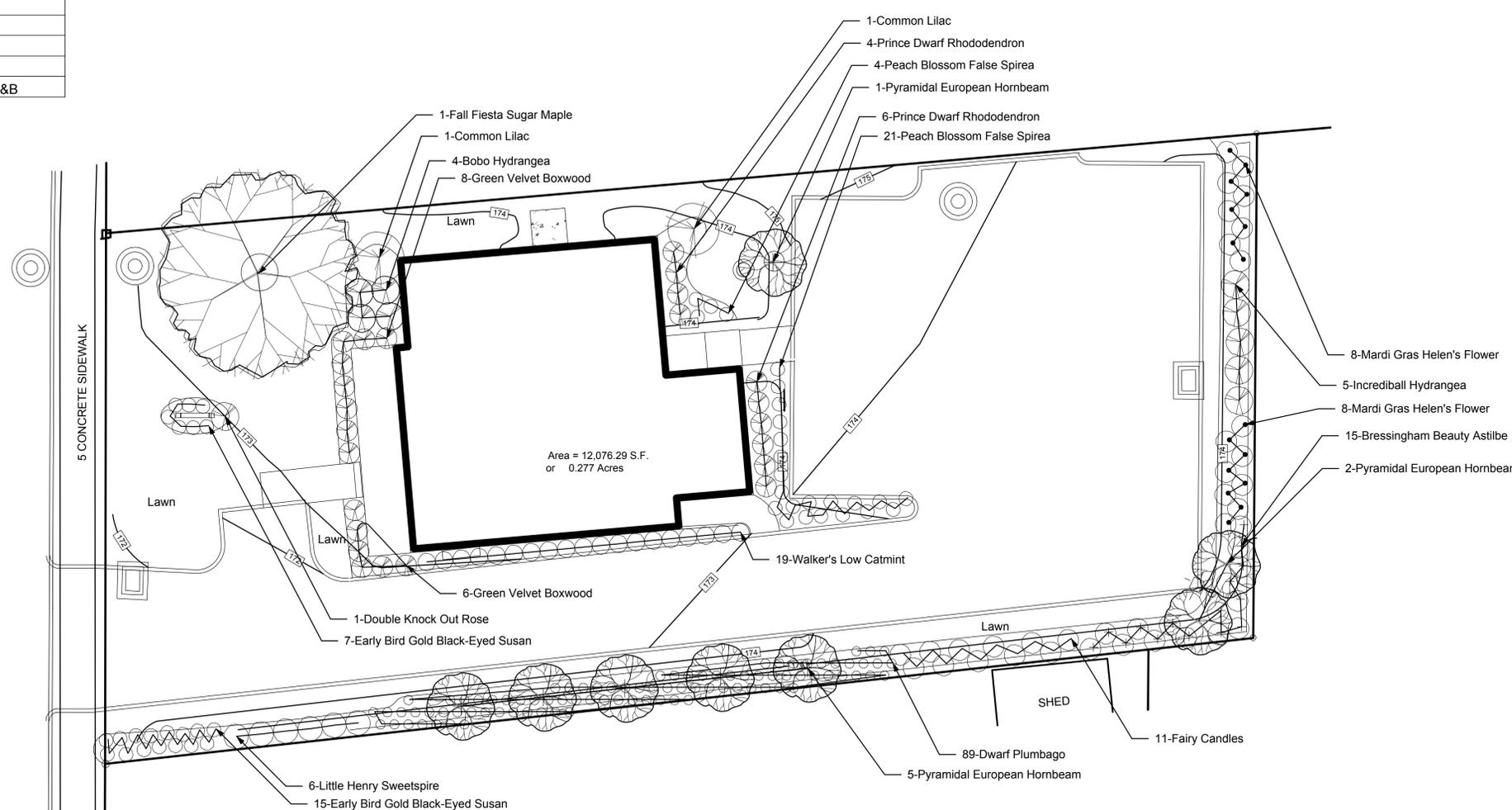
**GRADING AND UTILITIES PLAN**

SHEET NO. **4-6**

PLANT LIST				
ID	QTY	Botanical Name	Common Name	Scheduled Size
AABB_1	15	Astilbe x arendsii 'Bressingham Beauty'	Bressingham Beauty Astilbe	1 gal
AJPB_1	25	Astilbe japonica 'Peach Blossom'	Peach Blossom False Spirea	1 gal
ASFF_2.5	1	Acer saccharum 'Fall Fiesta'	Fall Fiesta Sugar Maple	2.5-3" cal., B&B
BMGV_18	14	Buxus microphylla 'Green Velvet'	Green Velvet Boxwood	18-24" ht. B&B
CBF_2	8	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	2-2.5" cal.
CP_5	89	Ceratostigma plumbaginoides	Dwarf Plumbago	5 pt.
CR_1	11	Cimicifuga racemosa	Fairy Candles	1 gal
HAI_6	5	Hydrangea arborescens 'Incrediball'	Incrediball Hydrangea	#6 cont.
HMG_1	16	Helenium 'Mardi Gras'	Mardi Gras Helen's Flower	1 gal
HPB_	4	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	3 gal.
IVLH_3	6	Itea virginica 'Little Henry'	Little Henry Sweetspire	#3 cont.
NFWL_2	19	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	1 gal
RDKO_6	1	Rosa x 'Double Knock Out'	Double Knock Out Rose	6 gal.
RFEBG_1	22	Rudbeckia fulgida 'Early Bird Gold'	Early Bird Gold Black-Eyed Susan	1 gal
RY_5	10	Rhododendron yakusianum 'Prince'	Prince Dwarf Rhododendron	#5 cont.
SV_4	2	Syringa vulgaris	Common Lilac	4-5' ht. B&B



NORTH MAIN STREET



**Installation Notes:**

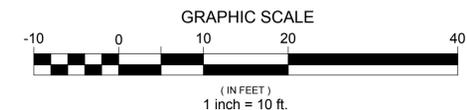
1. Landscape Architect and Town Staff shall approve any substitutions in plant material.
2. Plant material shall conform to the current American Nursery and Landscape Association Standards for Nursery Stock.
3. Planting shall conform to the current ANSI A300 Standards.
4. Mulch beds shall be cut in around all plants. Double shredded natural pine bark mulch shall be used.

**Maintenance Notes:**

All Trees, shrubs, perennials, ornamental grasses and lawns shall be maintained by the owner to provide for successful growth in accordance with the design intent of the approved plans. Yearly inspections of plant material survival and compliance with design intent will be conducted in mid-May of each year with replacemmnts or adjustments made by the end of June. Beds shall remain edged and mulched with natural materials to conserve water and provide weed control. Mulch shall be kept clear from the trunks of trees, bases of shrubs, and crowns of perennials. Lawns shall be regularly mown and provided with adequate water and fertilizer to remain well established areas of grass. Inspections for pest problems shall take place annually or as needed. An integrated pest management program for lawn and plantings shall be provided by a licensed CT IPM contractor to ensure proper use of fertilizers and chemicals in a restrained manner and only as needed. Proper watering to ensure thriving lawns and plantings shall be provided. Pruning of trees and shrubs, for both shape and health, by a licensed CT arborist, shall occur at least annually. Perennials and ornamental grasses shall be cut back, divided and/or thinned as needed.

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Date:	APR 28, 2016	Scale:	1" = 10'
Drawn:	DLB	Checked:	DLB
Revision:		Date:	

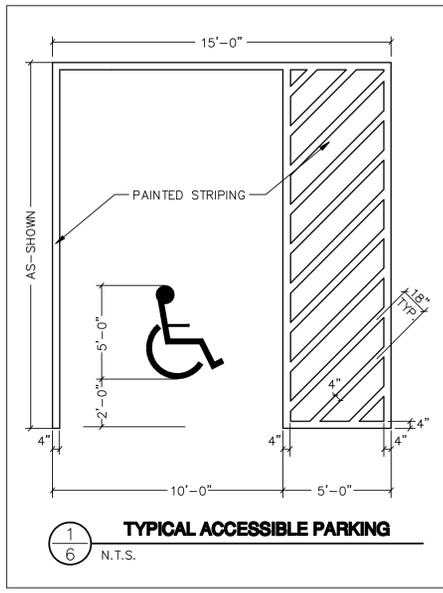
TORRES ENGINEERING, INC.  
63 REED DRIVE  
WETHERSFIELD, CT 06109  
(860) 232-9833

DIAN BARNES  
LANDSCAPE DESIGN  
860-916-3396  
dbarnes@dblanddesign.com

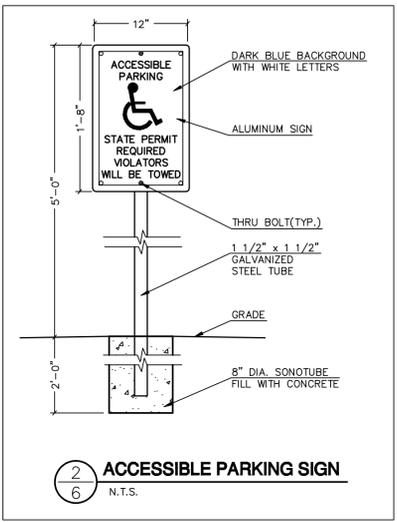
SITE IMPROVEMENTS FOR:  
**312 NORTH MAIN STREET**  
WEST HARTFORD, CT 06117

LANDSCAPING  
PLAN

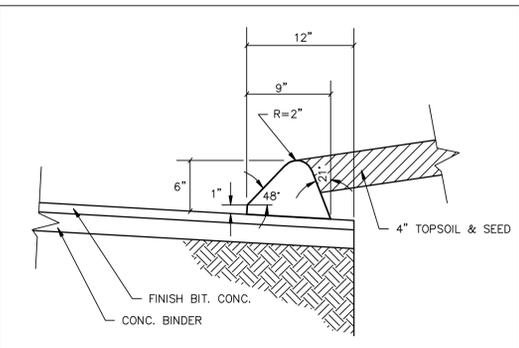
SHEET NO.  
**5-6**



1  
6 N.T.S.  
**TYPICAL ACCESSIBLE PARKING**

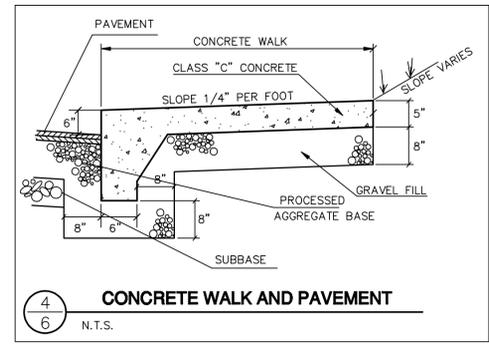


2  
6 N.T.S.  
**ACCESSIBLE PARKING SIGN**

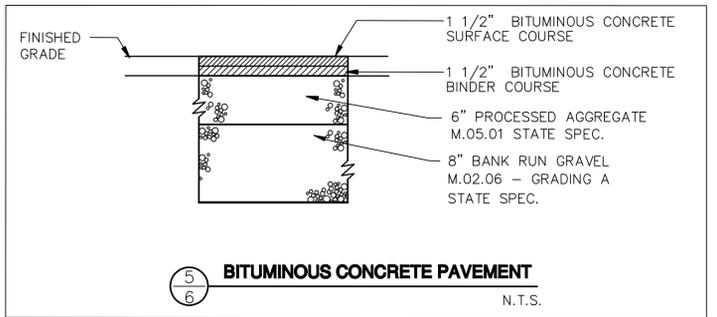


NOTES:  
TACK COAT TO BE APPLIED PRIOR TO CURB PLACEMENT AS REQUIRED BY TOWN.  
COATING TO BE APPLIED PER M 04.01.1d4

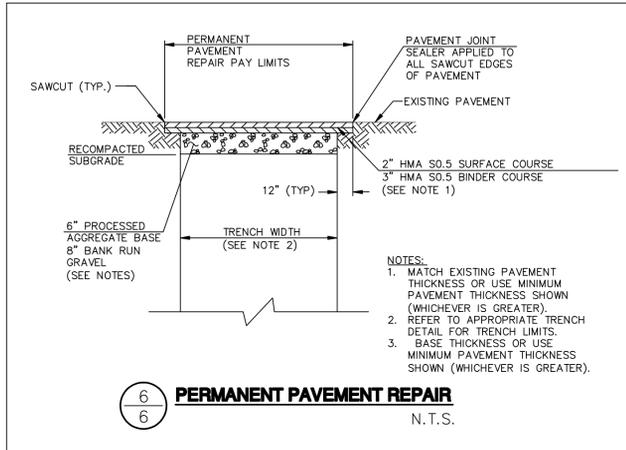
3  
6 N.T.S.  
**BITUMINOUS CONCRETE LIP CURBING SECTION**



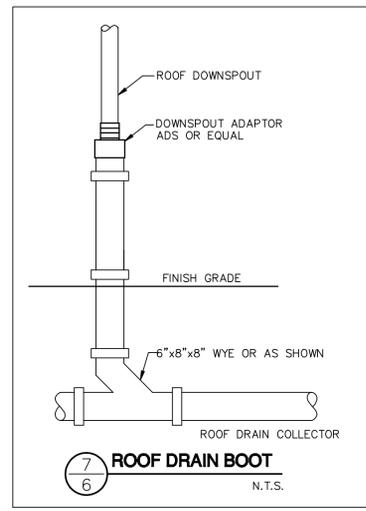
4  
6 N.T.S.  
**CONCRETE WALK AND PAVEMENT**



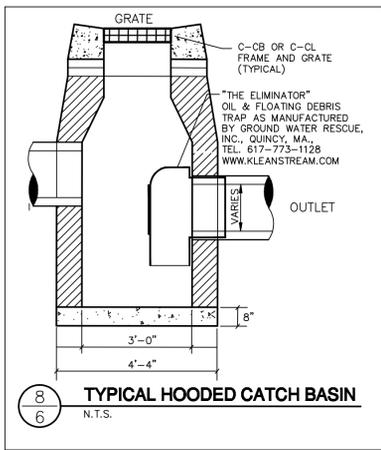
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6 N.T.S.  
**BITUMINOUS CONCRETE PAVEMENT**



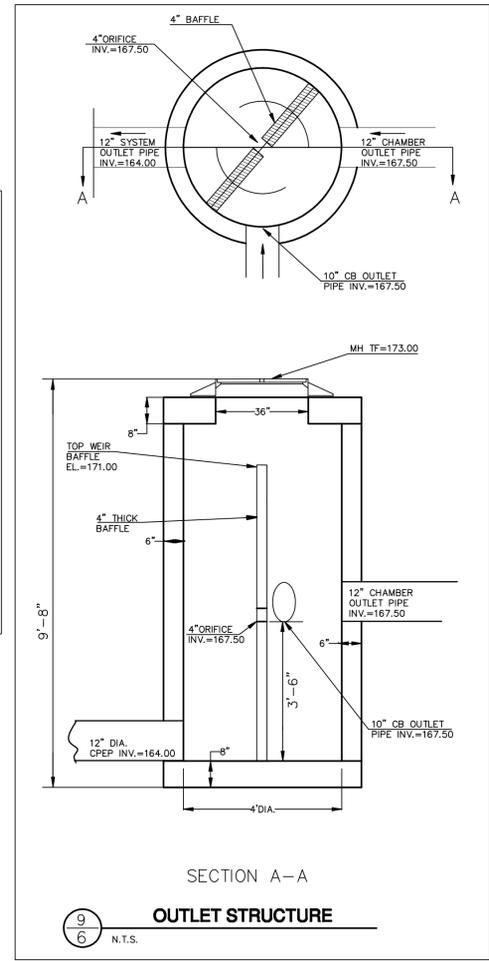
6  
6 N.T.S.  
**PERMANENT PAVEMENT REPAIR**



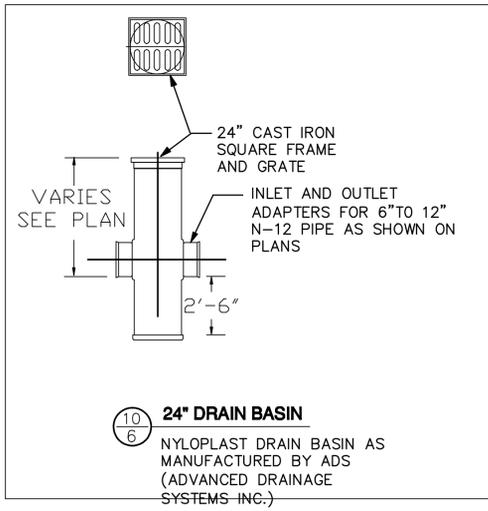
7  
6 N.T.S.  
**ROOF DRAIN BOOT**



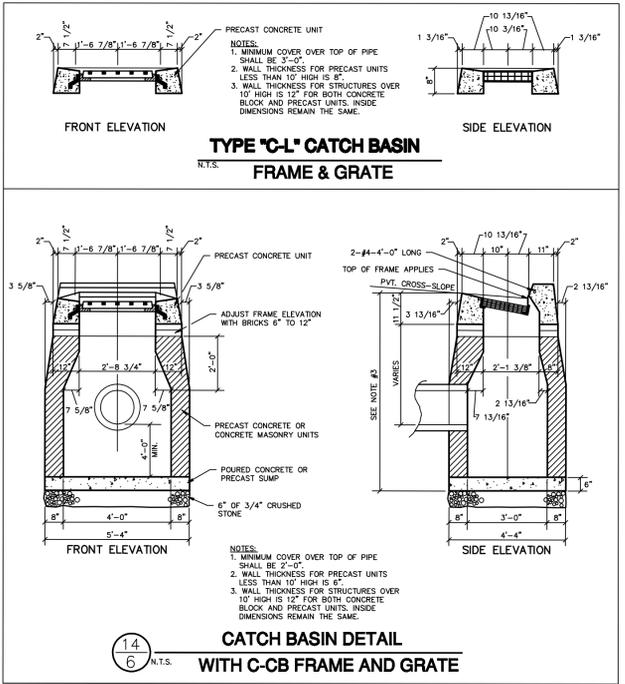
8  
6 N.T.S.  
**TYPICAL HOODED CATCH BASIN**



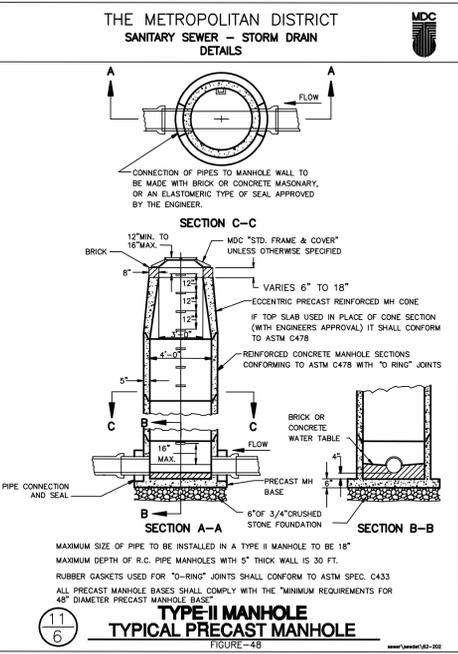
9  
6 N.T.S.  
**OUTLET STRUCTURE**



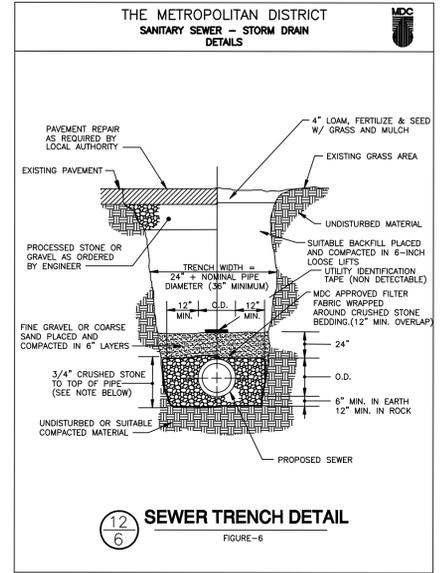
10  
6 N.T.S.  
**24" DRAIN BASIN**  
NYLOPLAST DRAIN BASIN AS MANUFACTURED BY ADS (ADVANCED DRAINAGE SYSTEMS-INC.)



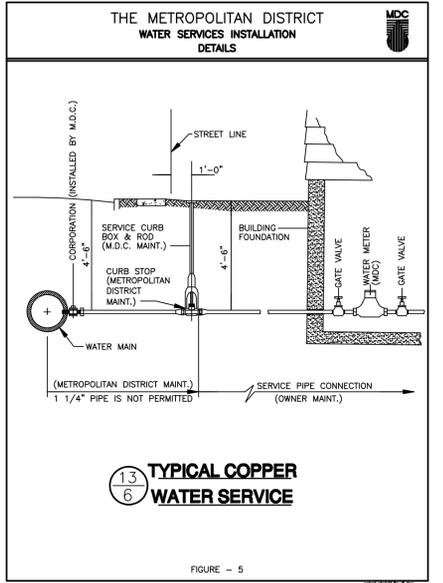
14  
6 N.T.S.  
**CATCH BASIN DETAIL WITH C-CB FRAME AND GRATE**



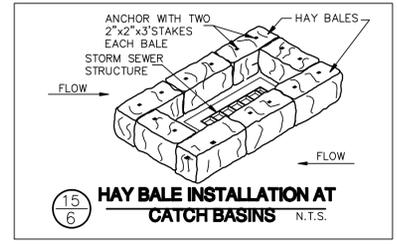
11  
6 N.T.S.  
**TYPICAL PRECAST MANHOLE**



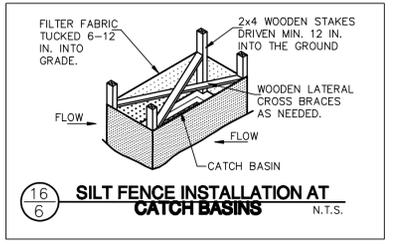
12  
6 N.T.S.  
**SEWER TRENCH DETAIL**



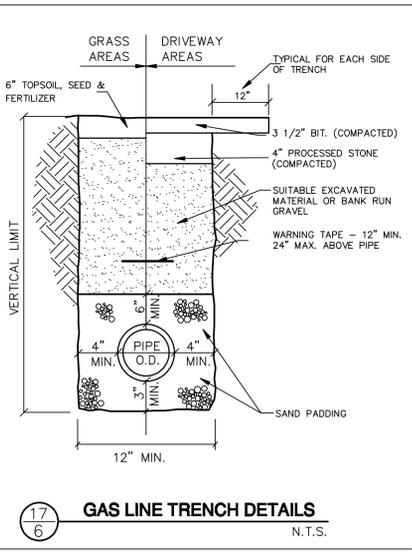
13  
6 N.T.S.  
**TYPICAL COPPER WATER SERVICE**



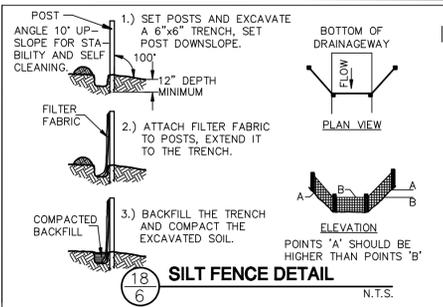
15  
6 N.T.S.  
**HAY BALE INSTALLATION AT CATCH BASINS**



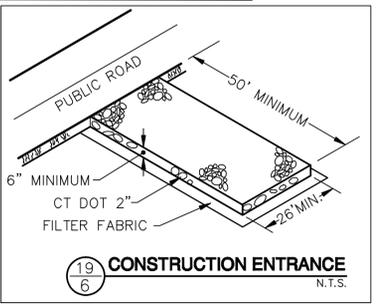
16  
6 N.T.S.  
**SILT FENCE INSTALLATION AT CATCH BASINS**



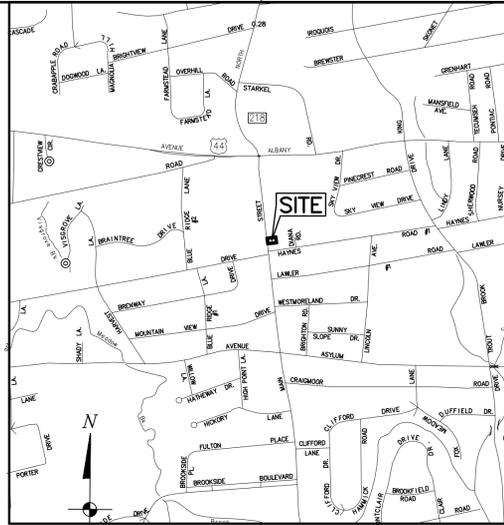
17  
6 N.T.S.  
**GAS LINE TRENCH DETAILS**



18  
6 N.T.S.  
**SILT FENCE DETAIL**



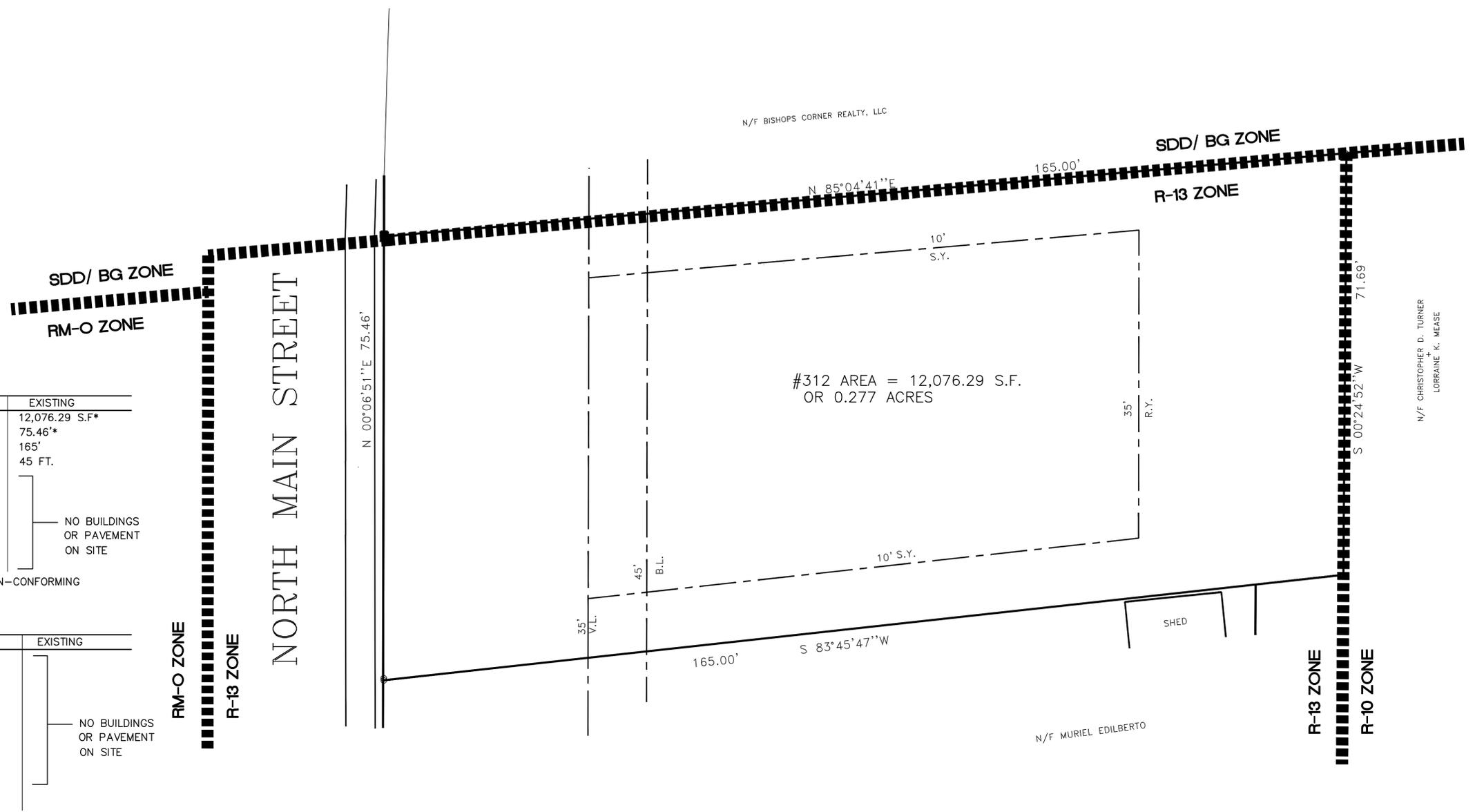
19  
6 N.T.S.  
**CONSTRUCTION ENTRANCE**



VICINITY MAP  
Town of West Hartford, CT  
Scale: 1"=1000'

NOTE:  
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R-13 ZONING SCHEDULE

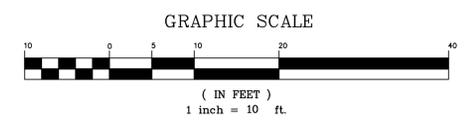
#312 NORTH MAIN STREET	REQUIRED	EXISTING
MIN. LOT AREA	12,750 S.F.	12,076.29 S.F.*
AVG. LOT WIDTH	85 FT.	75.46*
MIN. LOT DEPTH	110 FT.	165'
MIN. FRONT YARD	45 FT.	45 FT.
MIN. SIDE YARD - BUILDING	10 FT.	NO BUILDINGS OR PAVEMENT ON SITE
MIN. SIDE YARD - PARKING	2 FT.	
MIN. REAR YARD - BUILDING	35 FT.	
MIN. REAR YARD - PARKING	2 FT.	
MAX. BLDG. HEIGHT - STORIES/ FEET	2 1/2 STORIES, 30'	
MAX. LOT COVERAGE - ALL BUILDINGS	30%	
MAX. HORIZ. DIMENSION PER BUILDING	250 FT.	

\*EXISTING NON-CONFORMING

RO ZONING SCHEDULE

#312 NORTH MAIN STREET	REQUIRED	EXISTING
MIN. LOT AREA PER DWELLING UNIT	1,000 S.F.	NO BUILDINGS OR PAVEMENT ON SITE
MAXIMUM FLOOR AREA RATIO	1.25	
MAX. LOT COVERAGE - ALL BUILDINGS	40%	
MIN. FRONT YARD	45 FT.	
MIN. SIDE YARD - BUILDING	1/2 HEIGHT	
OPEN SPACE PER DWELLING UNIT	200 S.F.	
MAX. # DWELLING UNITS PER STRUCTURE	40 FT.	
MAX. BLDG. HEIGHT - STORIES/ FEET	3 STORIES, 40'	
MAX. HORIZ. DIMENSION PER BUILDING	250 FT.	

PROPERTY AREA = 12,076.29 S.F. OR 0.277 ACRES  
PROPOSED FROM R-13 ZONE TO RO ZONE  
THEN TO SDD.



Date: MAY 13, 2016	Scale: 1" = 10'
Drawn: D.T.	Checked: O.T.
Revision	Date:

**TE**  
TORRES ENGINEERING, INC.  
63 REED DRIVE  
WETHERSFIELD, CT 06109  
(860) 232-9833

**312 NORTH MAIN STREET**  
WEST HARTFORD, CT 06117

**ZONE CHANGE PLAN**

SHEET NO.  
**ZC-1**